



**TOWN OF LOS GATOS
PLANNING COMMISSION AGENDA
MARCH 24, 2021
110 EAST MAIN STREET
LOS GATOS, CA**

*Kathryn Janoff, Chair
Kendra Burch, Vice Chair
Jeffrey Barnett, Commissioner
Melanie Hanssen, Commissioner
Jeffrey Suzuki, Commissioner
Reza Tavana, Commissioner
Emily Thomas, Commissioner*

PARTICIPATION IN THE PUBLIC PROCESS

How to participate: The Town of Los Gatos strongly encourages your active participation in the public process, which is the cornerstone of democracy. If you wish to speak to an item on the agenda, please follow the participation instructions on page 2 of this agenda. If you wish to speak to an item NOT on the agenda, you may do so during the “Verbal Communications” period, by following the participation instructions on page 2 of this agenda. The time allocated to speakers may change to better facilitate the Planning Commission meeting.

Effective Proceedings: The purpose of the Planning Commission meeting is to conduct the business of the community in an effective and efficient manner. For the benefit of the community, the Town of Los Gatos asks that you follow the Town’s meeting guidelines while attending Planning Commission meetings and treat everyone with respect and dignity. This is done by following meeting guidelines set forth in State law and in the Town Code. Disruptive conduct is not tolerated, including but not limited to: addressing the Commissioners without first being recognized; interrupting speakers, Commissioners or Town staff; continuing to speak after the allotted time has expired; failing to relinquish the podium when directed to do so; and repetitiously addressing the same subject.

Deadlines for Public Comment and Presentations are as follows:

- Persons wishing to make an audio/visual presentation on any agenda item must submit the presentation electronically, either in person or via email, to the Planning Department by 1 p.m. or the Clerk’s Office no later than 3:00 p.m. on the day of the Planning Commission meeting.
- Persons wishing to submit written comments to be included in the materials provided to the Planning Commission must provide the comments to the Planning Department as follows:
 - For inclusion in the regular packet: by 11:00 a.m. the Friday before the meeting
 - For inclusion in any Addendum: by 11:00 a.m. the day before the meeting
 - For inclusion in any Desk Item: by 11:00 a.m. on the day of the meeting

***Planning Commission meetings are broadcast Live on KCAT, Channel 15 (on Comcast) on the 2nd and 4th Wednesdays at 7:00 p.m.
Live and Archived Planning Commission meetings can be viewed by going to:
<https://www.kcat.org/government-meetings>***

***IN COMPLIANCE WITH THE AMERICANS WITH DISABILITIES ACT, IF YOU NEED SPECIAL ASSISTANCE TO PARTICIPATE IN THIS MEETING,
PLEASE CONTACT THE CLERK DEPARTMENT AT (408) 354-6834. NOTIFICATION 48 HOURS BEFORE THE MEETING WILL ENABLE THE TOWN
TO MAKE REASONABLE ARRANGEMENTS TO ENSURE ACCESSIBILITY TO THIS MEETING [28 CFR §35.102-35.104]***

IMPORTANT NOTICE REGARDING PLANNING COMMISSION MEETING

This meeting is being conducted utilizing teleconferencing and electronic means consistent with State of California Executive Order N-29-20 dated March 17, 2020, regarding the COVID-19 pandemic. The live stream of the meeting may be viewed on television and/or online at: <https://meetings.municode.com/PublishPage/index?cid=LOSGATOS&ppid=4bc370fb-3064-458e-a11a-78e0c0e5d161&p=0>. **In accordance with Executive Order N-29-20, the public may only view the meeting on television and/or online and not in the Council Chamber.**

PARTICIPATION

If you are not interested in providing oral comments real-time during the meeting, you can view the live stream of the meeting on television (Comcast Channel 15) and/or online at <https://www.youtube.com/channel/UCFh35XRBWer1DPx-F7vvhcg>.

If you are interested in providing oral comments in real-time during the meeting, you must join the Zoom webinar at: <https://losgatosca.gov.zoom.us/j/83372296303?pwd=WDM1RnVFdVp6a01xM1NySHhydM9sQT09>
Passcode: 653587.

Please be sure you have the most up-to-date version of the Zoom application should you choose to provide public comment during the meeting. Note that participants cannot turn their cameras on during the entire duration of the meeting.

During the meeting:

- When the Chair announces the item for which you wish to speak, click the “raise hand” feature in Zoom. If you are participating by phone on the Zoom app, press *9 on your telephone keypad to raise your hand. If you are participating by calling in, press #2 on your telephone keypad to raise your hand.
- When called to speak, please limit your comments to three (3) minutes, or such other time as the Chair may decide, consistent with the time limit for speakers at a Council meeting.

If you are unable to participate in real-time, you may send an email to PlanningComment@losgatosca.gov with the subject line “Public Comment Item # ” (insert the item number relevant to your comment) or “Verbal Communications – Non Agenda Item.” Comments will be reviewed and distributed before the meeting if received by 11:00 a.m. on the day of the meeting. All comments received will become part of the record. The Chair has the option to modify this action on items based on comments received.

REMOTE LOCATION PARTICIPANTS

The following Planning Commissioners are listed to permit them to appear electronically or telephonically at the Planning Commission meeting: CHAIR KATHRYN JANOFF, VICE CHAIR BURCH, COMMISSIONER BARNETT, COMMISSIONER HANSSEN, COMMISSIONER SUZUKI, COMMISSIONER TAVANA, AND COMMISSIONER THOMAS. All votes during the teleconferencing session will be conducted by roll call vote.

**TOWN OF LOS GATOS
PLANNING COMMISSION AGENDA
MARCH 24, 2021
7:00 PM**

MEETING CALLED TO ORDER

ROLL CALL

VERBAL COMMUNICATIONS *(Members of the public may address the Commission on any matter that is not listed on the agenda. Unless additional time is authorized by the Commission, remarks shall be limited to three minutes.)*

CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION) *(Before the Planning Commission acts on the consent agenda, any member of the public or Commission may request that any item be removed from the consent agenda. At the Chair's discretion, items removed from the consent calendar may be considered either before or after the Public Hearings portion of the agenda)*

1. Draft Minutes from March 10, 2021 Planning Commission Meeting

PUBLIC HEARINGS *(Applicants/Appellants and their representatives may be allotted up to a total of five minutes maximum for opening statements. Members of the public may be allotted up to three minutes to comment on any public hearing item. Applicants/Appellants and their representatives may be allotted up to a total of three minutes maximum for closing statements. Items requested/recommended for continuance are subject to the Commission's consent at the meeting.)*

2. Requesting Approval for Demolition of an Existing Single-Family Residence and Construction of a New Single-Family Residence on Property Zoned R-1:8 Located at **140 Arroyo Grande Way**. APN 424-23-048. Architecture and Site Application S-20-013. Property Owner/Applicant: Yogesh Jhamb. Project Planner: Sean Mullin.

REPORT FROM THE DIRECTOR OF COMMUNITY DEVELOPMENT

SUBCOMMITTEE REPORTS / COMMISSION MATTERS

ADJOURNMENT *(Planning Commission policy is to adjourn no later than 11:30 p.m. unless a majority of the Planning Commission votes for an extension of time)*

Writings related to an item on the Planning Commission meeting agenda distributed to members of the Commission within 72 hours of the meeting are available for public inspection at the reference desk of the Los Gatos Town Library, located at 100 Villa Avenue; the Community Development Department and Clerk Department, both located at 110 E. Main Street; and are also available for review on the official Town of Los Gatos website. Copies of desk items distributed to members of the Commission at the meeting are available for review in the Town Council Chambers.

Note: The Town of Los Gatos has adopted the provisions of Code of Civil Procedure §1094.6; litigation challenging a decision of the Town Council must be brought within 90 days after the decision is announced unless a shorter time is required by State or Federal law.



**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 03/24/2021

ITEM NO: 1

**DRAFT
MINUTES OF THE PLANNING COMMISSION MEETING
MARCH 10, 2021**

The Planning Commission of the Town of Los Gatos conducted a Regular Meeting on Wednesday, March 10, 2021, at 7:00 p.m.

This meeting was conducted utilizing teleconferencing and electronic means consistent with State of California Executive Order N-29-20 dated March 17, 2020, regarding the COVID19 pandemic and was conducted via Zoom. All planning commissioners and staff participated from remote locations and all voting was conducted via roll call vote.

MEETING CALLED TO ORDER AT 7:00 P.M.

ROLL CALL

Present: Chair Kathryn Janoff , Vice Chair Kendra Burch, Commissioner Jeffrey Barnett, Commissioner Melanie Hanssen, Commissioner Jeffrey Suzuki, Commissioner Reza Tavana, and Commissioner Emily Thomas

Absent: None.

VERBAL COMMUNICATIONS

None.

CONSENT ITEMS (TO BE ACTED UPON BY A SINGLE MOTION)

1. Approval of Minutes – February 24, 2021

MOTION: **Motion by Commissioner Barnett to approve adoption of the Consent Calendar. Seconded by Commissioner Tavana.**

VOTE: **Motion passed unanimously.**

PUBLIC HEARINGS

2. 246 Almendra Avenue

Zone Change Application Z-20-001

APN 510-14-019

Applicant: Brett Brenkwitz

Property Owner: Gary Filizetti

Project Planner: Ryan Safty

Consider a Request for Approval for a Zone Change from O:LHP (Office with a Landmark and Historic Preservation Overlay) to R-1D:LHP (Single-Family Residential Downtown with a Landmark and Historic Preservation Overlay).

Ryan Safty, Associate Planner, presented the staff report.

Opened Public Comment.

Brett Brenkwitz (Applicant/Architect)

- They wish to build a single-family dwelling with possibly a detached garage in the back of the lot with an ADU over it. The parking currently on the lot is not being counted or needed for the adjacent structures, including the diner, so this is a good fit to change the zoning and introduce a new single-family dwelling in this eclectic neighborhood, provide housing for the Town, and eliminate a not aesthetically pleasing parking lot.

Jeff Pratt, 242 Almendra Avenue

- He lives next door to the subject site and supports the project, which he believes would be very good for the neighborhood and would look much better than the current parking lot.

Brett Brenkwitz (Applicant/Architect)

- He agreed with Mr. Pratt that the house would be preferable aesthetically compared to the parking lot in terms of the streetscape.

Closed Public Comment.

Commissioners discussed the matter.

MOTION: **Motion by Commissioner Hanssen** to forward to Town Council a recommendation of approval for a zone change for 246 Almendra Avenue. **Seconded by Vice Chair Burch.**

VOTE: **Motion passed unanimously.**

OTHER BUSINESS

None.

REPORT FROM THE DIRECTOR OF COMMUNITY DEVELOPMENT

Joel Paulson, Director of Community Development

- The Town is close to entering into an agreement with a consultant to assist the Town in preparing objective standards using grant funding to offset costs for that work. If the subcommittee of planning commissioners looking into objective standards has any information it should be forwarded to staff who will forward it to the consultant.
- The General Plan Update Advisory Committee has looked at some objective standards in the Community Design Element and most of those will end up moving into either the Zoning Code or other policy documents.

SUBCOMMITTEE REPORTS/COMMISSION MATTERS

Conceptual Development Advisory Committee

Commissioner Barnett

- The CDAC met on March 10, 2021; elected Commissioner Barnett as the new chair and Council Member Badame as vice chair; discussed a requested lot line adjustment and lot split to create two parcels from one property at 16466 Bonnie Lane.

General Plan Update Advisory Committee

Commissioner Hanssen

- GPAC met on March 4, 2021; continued discussion of the Community Design Element that was continued to a third meeting to be held March 18, 2021. The Committee one more Element to go through before getting back the Land Use Element. Ultimately there will be a complete draft that will be forwarded to the Planning Commission and Town Council later this year.
- Objective standards: When the Town Council set the direction for the General Plan update they gave direction to look for additional objective standards. The Community Design Element contains quite a few new objective standards proposed by the consultants and they recommended moving them into the Code and possibly the residential and commercial design guidelines.

Historic Preservation Committee

Commissioner Burch

- The HPC held a special meeting on March 4, 2021; reviewed three items:
 - 47 Alpine Avenue;
 - 334 Los Gatos Boulevard; and
 - 445 Los Gatos Boulevard.

Commission Matters

None.

ADJOURNMENT

The meeting adjourned at 7:30 p.m.

This is to certify that the foregoing is a true and correct copy of the minutes of the March 10, 2021 meeting as approved by the Planning Commission.

/s/ Vicki Blandin



**TOWN OF LOS GATOS
PLANNING COMMISSION
REPORT**

MEETING DATE: 03/24/2021

ITEM NO: 2

DATE: March 19, 2021
TO: Planning Commission
FROM: Joel Paulson, Community Development Director
SUBJECT: Requesting Approval for Demolition of an Existing Single-Family Residence and Construction of a New Single-Family Residence on Property Zoned R-1:8 Located at 140 Arroyo Grande Way. APN 424-23-048. Architecture and Site Application S-20-013. Property Owner/Applicant: Yogesh Jhamb. Project Planner: Sean Mullin.

RECOMMENDATION:

Denial.

PROJECT DATA:

General Plan Designation: Low Density Residential
Zoning Designation: R-1:8 – Single-Family Residential, 8,000-square foot lot minimum
Applicable Plans & Standards: General Plan; Residential Design Guidelines
Parcel Size: 6,425 square feet
Surrounding Area:

	Existing Land Use	General Plan	Zoning
North	Residential	Low Density Residential	R-1:8
South	Residential	Low Density Residential	R-1:8
East	Residential	Low Density Residential	R-1:8
West	Residential	Low Density Residential	R-1:8

PREPARED BY: Sean Mullin, AICP
Associate Planner

Reviewed by: Planning Manager and Community Development Director

CEQA:

The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction.

FINDINGS:

- As required, the project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction.
- As required by Section 29.10.09030(e) of the Town Code for the demolition of existing structures.
- The project meets the objective standards of Chapter 29 of the Town Code (Zoning Regulations).
- As required by the Residential Design Guidelines that the project complies with the Residential Design Guidelines.

CONSIDERATIONS:

- As required by Section 29.20.150 of the Town Code for granting approval of an Architecture and Site application.

ACTION:

The decision of the Planning Commission is final unless appealed within ten days.

BACKGROUND:

The project site is located on the southwest side of Arroyo Grande Way approximately 435 feet southwest of Lark Avenue (Exhibit 1). The subject property is approximately 0.15 acres (6,425 square feet) and developed with a single-story, 1,150-square foot single-family residence with a 428-square foot garage. This Architecture and Site application has been referred to the Planning Commission because the residence would be the largest in terms of square footage and floor area ratio (FAR) within the immediate neighborhood.

PROJECT DESCRIPTION:

A. Location and Surrounding Neighborhood

The subject property is 6,425 square feet, located on the southwest side of Arroyo Grande Way approximately 435 feet southwest of Lark Avenue. The property is developed with a single-family residence and an attached garage. Single-family residential development surrounds the property.

PROJECT DESCRIPTION (continued):

B. Project Summary

The applicant proposes demolition of the existing residence and construction of a single-story residence with an attached two-car garage (Exhibit 12).

C. Zoning Compliance

A single-family residence is permitted in the R-1:8 zone. The proposed residence is in compliance with the allowable floor area, height, setbacks, and on-site parking requirements for the property.

DISCUSSION:

A. Architecture and Site Analysis

The applicant proposes demolition of the existing single-family residence and attached garage and construction of a new 2,123-square foot single-story residence with a 428-square foot attached garage (Exhibit 12). The proposed residence would be sited in the middle of the property, utilizing the area of existing development. The height of the proposed residence is 21 feet, 10 ½ inches, where a maximum of 30 feet is allowed.

The proposed project materials include painted stucco with a smooth finish, wood windows, wood garage doors, wood trim, and an asphalt shingle roof. A color rendering is included on Sheet A3.4 of the Development Plans (Exhibit 12). The applicant has provided a Project Description and a Letter of Justification summarizing the project and discussing the size of the proposed residence (Exhibits 4 and 5).

Building Design

The applicant proposes construction of a single-story residence with an attached garage. The proposed residence would utilize the area of existing development in the center of the property. The main portion of the residence would feature a five-in-12 hipped roof with an eyebrow dormer over the front entry. Five-in-12 gable-end roofs are proposed above the garage on the front elevation as well as the right and left portions of the rear elevation. A bay window at the right side of the front elevation is proposed with a seven and one-half-in-twelve roof pitch. Windows and doors on the front and rear elevations would feature an arched top, while those on the side elevations would have a flat top.

The Town's Consulting Architect reviewed the proposed residence and noted that design of the residence was overly complex and inconsistent with several Residential Design Guidelines (Exhibit 6). The Consulting Architect discussed the inconsistencies with the

DISCUSSION (continued):

Residential Design Guidelines related to eave height, roof forms, window forms, materials, and garage door design. The Consulting Architect made six recommendations to address consistency of the project with the Residential Design Guidelines, which are summarized below. The applicant responded, but did not incorporate the recommended design changes to the roof forms to address consistency with the Residential Design Guidelines. The applicant's response to each recommendation follows in *italics* and is included in Exhibit 7.

1. Lower the roof eave height as much as possible. The recommendation illustrations show a one-foot decrease in height.

We have reduced the slope of the roof to 5:12, so instead of lowering the roof eave height by 1', we have lowered the height of the whole house by 2'. We believe that this change will be more visible as it creates a smaller impression of the house in the neighborhood. We would like to keep 10' exterior walls and 10' ceilings in the house, so that we can have taller windows that provide more natural light.

2. Utilize a hip roof on the garage in lieu of the proposed gable.

We believe that this recommendation was primarily to reduce the prominence of the garage. We have reduced the roof slope of the garage to 5:12, and we have also removed the brick work from the garage walls, which will significantly reduce the prominence of the garage. The gable garage roof is consistent with the selected architectural style and many other homes in our neighborhood have gable garage roofs.

3. Simplify the window forms and styles and provide wood trim on all facades.

We have simplified the window forms and have provided wood trim on all facades. We have used slightly arch windows in the front and rear elevation, and we have consistent window styles for each elevation.

4. Eliminate the brick in favor of a uniform stucco treatment and add a moulding trim strip.

We have eliminated the brick in all elevations and have provided uniform stucco treatment as suggested.

5. Substantially recess the garage door and select a garage door color to blend with the main body of the home rather than contrasting with it.

DISCUSSION (continued):

The garage door has been recessed as suggested and changes are depicted in the floor plan. The color has also been updated to blend with the main body of the home.

6. Remove the roof dormer to simplify the roof.

We have significantly reduced the size of the dormer; however, we require it as it is the only source to provide natural light in the entry hallway. We hope that the city will allow us to keep the roof dormer.

B. Neighborhood Compatibility

The subject property is 6,425 square feet and the maximum allowable floor area is 2,176 square feet for the residence and any accessory structures, and 617 square feet for the garage. The maximum allowable FAR for the residence and any accessory structure is 0.34. The table below reflects the current conditions of the residences in the immediate area based on County records and the proposed project.

FAR Comparison - Neighborhood Analysis							
Address	Zoning	Residential SF*	Garage SF	Total SF**	Lot Area SF	Residential FAR	No. of Stories
115 La Cienega Ct	R-1:8	1,568	428	1,996	7,000	0.22	1
109 Arroyo Grande Wy	R-1:8	1,195	428	1,623	9,000	0.13	1
120 Arroyo Grande Wy	R-1:8	1,549	428	1,977	5,823	0.27	1
124 Arroyo Grande Wy	R-1:8	1,657	428	2,085	6,402	0.26	1
143 Arroyo Grande Wy	R-1:8	1,520	428	1,948	7,263	0.21	1
144 Arroyo Grande Wy	R-1:8	1,150	428	1,578	6,000	0.19	1
147 Arroyo Grande Wy	R-1:8	1,578	0	1,578	7,200	0.22	1
148 Arroyo Grande Wy	R-1:8	1,508	428	1,936	6,800	0.22	1
140 Arroyo Grande Wy (E)	R-1:8	1,150	428	1,578	6,425	0.18	1
140 Arroyo Grande Wy (P)	R-1:8	2,123	428	2,551	6,425	0.33	1
* Residential square footage does not include garages.							
** The total square footage numbers do not include below grade square footage.							

The eight properties in the immediate neighborhood are developed with one-story residences and are examples of late 1950s suburban ranch architecture. The property sizes within the immediate neighborhood range from 5,823 to 9,000 square feet. Based on Town and County records, the square footage of the residences located in the immediate neighborhood range from 1,150 square feet to 1,657 square feet. The FAR of the residences in the immediate neighborhood range from 0.13 to 0.27. The applicant is proposing a 2,123-square foot residence and a FAR of 0.33 on a 6,425 square foot parcel. The proposed project would be the largest residence in terms of square footage by 466 square feet and the largest in terms of FAR by 0.06.

DISCUSSION (continued):

The applicant has provided a Letter of Justification for the size of the residence indicating that the proposed residence size is intended to accommodate their needs (Exhibit 5). The applicant indicates that a single-story countryside ranch design was selected to maintain consistency with the neighborhood. The applicant highlights that, while the residences in the immediate neighborhood are smaller than the proposed residence, they believe additions or new residences will eventually occur to increase the size of these residences.

Lastly, the applicant provides examples of residences in the neighborhood outside of the defined immediate neighborhood with sizes comparable to the proposed residence. Staff has prepared an exhibit showing the distribution of the examples provided by the applicant relative to the subject property and the immediate neighborhood (Exhibit 8).

C. Site Design

The proposed residence would utilize the area of existing development in the center of the property. The footprint of the residence would expand to the limitations of the required setbacks. A new driveway tying into the existing curb cut would provide access to the garage. Additional hardscape would provide pedestrian circulation around the residence. The development plans show that bark mulch would be spread throughout the remainder of the property. Details of any plans for landscaping are not required for single-family development outside of the hillside area.

D. Tree Impacts

The development plans were reviewed by the Town Arborist who noted that there are no trees on the site that conflict with the proposed development (Exhibit 9). The Town Arborist identified two Chinese Pistache street trees located in the parking strip in front of the residence. These two street trees require protection during construction activities per the requirements of the Town Code. Arborist recommendations for tree protection have been included in the Conditions of Approval (Exhibit 3).

CEQA DETERMINATION:

The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction.

PUBLIC COMMENTS:

Story poles and project signage were installed on the site by March 8, 2021, in anticipation of the March 24, 2021 Planning Commission hearing. Public comments received by 11:00 a.m.,

PUBLIC COMMENTS (continued):

Friday, March 19, 2021, are included as Exhibit 10. All comments were forwarded to the applicant upon receipt. The applicant's response to public comments is included as Exhibit 11.

CONCLUSION:

A. Summary

The applicant is requesting approval of an Architecture and Site application for demolition of an existing single-family residence and construction of a new a single-family residence. The project is in compliance with the objective standards of the Town Code related to size, height, setbacks, and on-site parking requirements. The project was reviewed by the Town's Consulting Architect who provided recommendations to address the consistency of the project with the Residential Design Guidelines. The applicant responded but did not incorporate design changes to the roof forms to address consistency with the Residential Design Guidelines. The project is consistent with the Zoning and General Plan Land Use designation for the property. The application was referred to the Planning Commission because the residence would be the largest in terms of square footage and FAR in the immediate neighborhood. The applicant has provided a Letter of Justification for the size of the residence indicating that the proposed residence size is intended to accommodate their needs (Exhibit 5) and highlighted several examples of residences in the neighborhood outside of the defined immediate neighborhood with sizes comparable to the proposed residence.

B. Recommendation

Based on the analysis above, staff recommends denial of the Architecture and Site application based on concerns related to size, neighborhood compatibility, and consistency with the Residential Design Guidelines, as discussed in this report.

C. Alternatives

Alternatively, the Commission can:

1. Approve the application by taking the following actions:
 - a. Make the finding that the proposed project is categorically exempt pursuant to the adopted Guidelines for the implementation of the California Environmental Quality Act, Section 15303: New Construction (Exhibit 2);
 - b. Make the findings as required by Section 29.10.09030(e) of the Town Code for the demolition of existing structures (Exhibit 2);

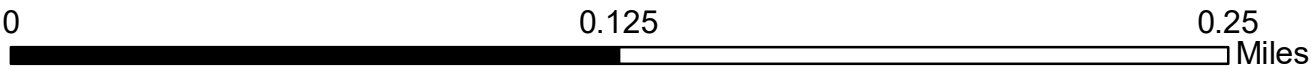
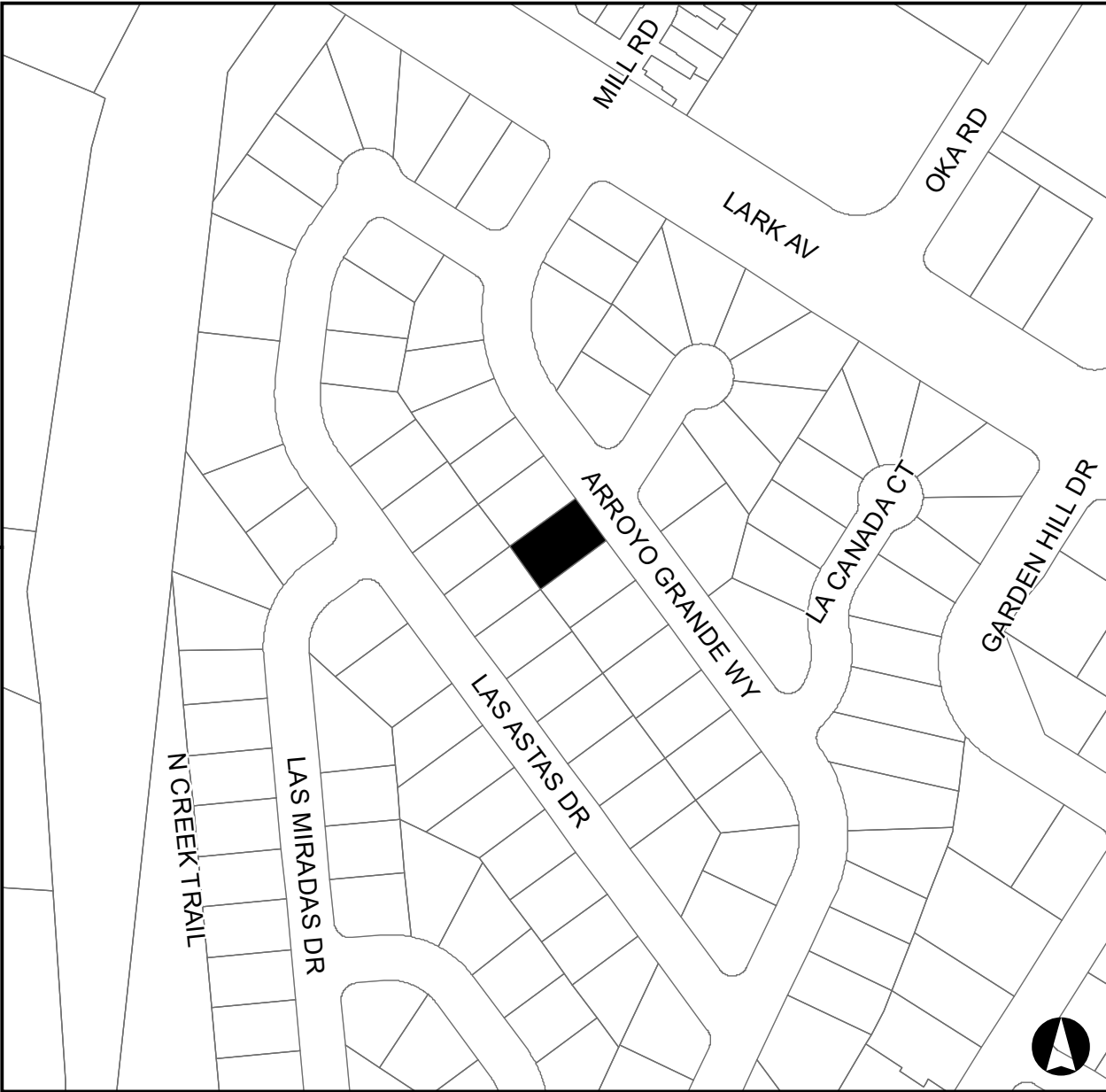
CONCLUSION (continued):

- c. Make the finding that the project complies with the objective standards of Chapter 29 of the Town Code (Zoning Regulations) (Exhibit 2);
 - d. Make the finding required by the Town's Residential Design Guidelines that the project complies with the Residential Design Guidelines (Exhibit 2);
 - e. Make the considerations as required by Section 29.20.150 of the Town Code for granting approval of an Architecture and Site application (Exhibit 2); and
 - f. Approve Architecture and Site Application S-20-013 with the conditions contained in Exhibit 3 and the development plans in Exhibit 12.
2. Approve the application with additional and/or modified conditions; or
 3. Continue the matter to a date certain with specific direction.

EXHIBITS:

1. Location Map
2. Required Findings and Considerations
3. Recommended Conditions of Approval
4. Project Description
5. Letter of Justification
6. Consulting Architect's Report, dated June 29, 2020
7. Applicant's response to the recommendations of the Consulting Architect
8. Neighborhood exhibit by staff
9. Town Arborist's Report, dated November 2, 2020
10. Public comments received by 11:00 a.m., Friday, March 19, 2021
11. Applicant's response to public comments
12. Development Plans

140 Arroyo Grande Way



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PLANNING COMMISSION –March 24, 2021
REQUIRED FINDINGS AND CONSIDERATIONS FOR:

140 Arroyo Grande Way
Architecture and Site Application S-20-013

**Requesting Approval for Demolition of an Existing Single-Family Residence
and Construction of a New Single-Family Residence on Property Zoned R-1:8.
APN 424-23-048.**

PROPERTY OWNER/APPLICANT: Yogesh Jhamb.
PROJECT PLANNER: Sean Mullin.

FINDINGS

Required finding for CEQA:

- The project is Categorically Exempt pursuant to the adopted Guidelines for the Implementation of the California Environmental Quality Act, Section 15303: New Construction.

Required finding for the demolition of existing structures:

- As required by Section 29.10.09030(e) of the Town Code for the demolition of existing structures:
 1. The Town's housing stock will be maintained as the single-family residence will be replaced.
 2. The existing structure has no architectural or historical significance and is in poor condition.
 3. The property owner does not desire to maintain the structures as they exist; and
 4. The economic utility of the structures was considered.

Required compliance with the Zoning Regulations:

- The project meets the objective standards of Chapter 29 of the Town Code (Zoning Regulations).

Required compliance with the Residential Design Guidelines:

- The project is in compliance with the Residential Design Guidelines for single-family residences not in hillside areas. The project was reviewed by the Town's Consulting Architect and recommendations were provided to address the consistency of the project with the Residential Design Guidelines. The applicant responded to all recommendations

EXHIBIT 2

with design changes and justification to address consistency with the Residential Design Guidelines.

- The project is the largest for FAR and floor area in the immediate neighborhood and the applicant has provided justification indicating that the proposed residence size is intended to accommodate their needs and highlighted several examples of residences in the neighborhood outside of the defined immediate neighborhood with sizes comparable to the proposed residence.

CONSIDERATIONS

Required considerations in review of Architecture and Site applications:

- As required by Section 29.20.150 of the Town Code, the considerations in review of an Architecture and Site application were all made in reviewing this project.

PLANNING COMMISSION –March 24, 2021
CONDITIONS OF APPROVAL

140 Arroyo Grande Way
Architecture and Site Application S-20-013

Requesting Approval for Demolition of an Existing Single-Family Residence and Construction of a New Single-Family Residence on Property Zoned R-1:8. APN 424-23-048.

PROPERTY OWNER/APPLICANT: Yogesh Jhamb.
PROJECT PLANNER: Sean Mullin.

TO THE SATISFACTION OF THE DIRECTOR OF COMMUNITY DEVELOPMENT:

Planning Division

1. **APPROVAL:** This application shall be completed in accordance with all of the conditions of approval and in substantial compliance with the approved plans. Any changes or modifications to the approved plans and/or business operation shall be approved by the Community Development Director, DRC or the Planning Commission depending on the scope of the changes.
2. **EXPIRATION:** The approval will expire two years from the approval date pursuant to Section 29.20.320 of the Town Code, unless the approval has been vested.
3. **OUTDOOR LIGHTING:** Prior to final occupancy all exterior lighting shall be kept to a minimum and shall be down directed fixtures that will not reflect or encroach onto adjacent properties. All exterior lighting shall utilize shields so that no bulb is visible and to ensure that the light is directed to the ground surface and does not spill light onto neighboring parcels or produce glare when seen from nearby homes. No flood lights shall be used unless it can be demonstrated that they are needed for safety or security.
4. **TREE REMOVAL PERMIT:** A Tree Removal Permit shall be obtained for any protected trees to be removed, prior to the issuance of a building or grading permit.
5. **EXISTING TREES:** All existing trees shown on the plan and trees required to remain or to be planted are specific subjects of approval of this plan and must remain on the site.
6. **TREE FENCING:** Protective tree fencing, and other protection measures shall be placed at the drip line of existing trees prior to issuance of demolition and building permits and shall remain through all phases of construction. Include a tree protection plan with the construction plans.
7. **TREE REPLACEMENT:** Prior to issuance of final occupancy replacement trees must be planted.
8. **TREE STAKING:** All newly planted trees shall be double-staked using rubber tree ties.
9. **FRONT YARD LANDSCAPE:** Prior to issuance of a Certificate of Occupancy the front yard must be landscaped.

EXHIBIT 3

10. **ARBORIST REQUIREMENTS:** The developer shall implement, at their cost, all recommendations identified in the Arborist's report. These recommendations must be incorporated in the building permit plans, and completed prior to issuance of a building permit where applicable. A Compliance Memorandum shall be prepared by the applicant and submitted with the building permit application detailing how the recommendations have or will be addressed.
11. **WATER EFFICIENCY LANDSCAPE ORDINANCE:** The final landscape plan shall meet the requirements of the Town of Los Gatos Water Conservation Ordinance or the State Water Efficient Landscape Ordinance, whichever is more restrictive. Submittal of a Landscape Documentation Package pursuant to WELO is required prior to issuance of a building permit. A review fee based on the current fee schedule adopted by the Town Council is required when working landscape and irrigation plans are submitted for review. A completed WELO Certificate of Completion is required prior to final inspection/certificate of occupancy.
12. **SALVAGE OF BUILDING MATERIALS:** Prior to the issuance of a demolition permit, the developer shall provide the Community Development Director with written notice of the company that will be recycling the building materials. All wood, metal, glass, and aluminum materials generated from the demolished structure shall be deposited to a company which will recycle the materials. Receipts from the company(s) accepting these materials, noting the type and weight of materials, shall be submitted to the Town prior to the Town's demolition inspection.
13. **STORY POLES:** The story poles on the project site shall be removed within 30 days of approval of the Architecture & Site application.
14. **TOWN INDEMNITY:** Applicants are notified that Town Code Section 1.10.115 requires that any applicant who receives a permit or entitlement from the Town shall defend, indemnify, and hold harmless the Town and its officials in any action brought by a third party to overturn, set aside, or void the permit or entitlement. This requirement is a condition of approval of all such permits and entitlements whether or not expressly set forth in the approval and may be secured to the satisfaction of the Town Attorney.
15. **COMPLIANCE MEMORANDUM:** A memorandum shall be prepared and submitted with the building plans detailing how the Conditions of Approval will be addressed.

Building Division

16. **PERMITS REQUIRED:** A Demolition Permit is required for the demolition of the existing single-family residence and attached garage. A separate Building Permit is required for the construction of the new single-family residence and attached garage. An additional Building Permit will be required for the PV System if the system is required by the California Energy Code.
17. **APPLICABLE CODES:** The current codes, as amended and adopted by the Town of Los Gatos as of January 1, 2020, are the 2019 California Building Standards Code, California Code of Regulations Title 24, Parts 1-12, including locally adopted Energy Reach Codes.
18. **CONDITIONS OF APPROVAL:** The Conditions of Approval must be blue lined in full on the cover sheet of the construction plans. A Compliance Memorandum shall be prepared and

submitted with the building permit application detailing how the Conditions of Approval will be addressed.

19. SIZE OF PLANS: Minimum size 24" x 36", maximum size 30" x 42".
20. REQUIREMENTS FOR COMPLETE DEMOLITION OF STRUCTURE: Obtain a Building Department Demolition Application and a Bay Area Air Quality Management District Application from the Building Department Service Counter. Once the demolition form has been completed, all signatures obtained, and written verification from PG&E that all utilities have been disconnected, return the completed form to the Building Department Service Counter with the Air District's J# Certificate, PG&E verification, and three (3) sets of site plans showing all existing structures, existing utility service lines such as water, sewer, and PG&E. No demolition work shall be done without first obtaining a permit from the Town.
21. SOILS REPORT: A Soils Report, prepared to the satisfaction of the Building Official, containing foundation and retaining wall design recommendations, shall be submitted with the Building Permit Application. This report shall be prepared by a licensed Civil Engineer specializing in soils mechanics.
22. SHORING: Shoring plans and calculations will be required for all excavations which exceed five (5) feet in depth or which remove lateral support from any existing building, adjacent property, or the public right-of-way. Shoring plans and calculations shall be prepared by a California licensed engineer and shall confirm to the Cal/OSHA regulations.
23. FOUNDATION INSPECTIONS: A pad certificate prepared by a licensed civil engineer or land surveyor shall be submitted to the project Building Inspector at foundation inspection. This certificate shall certify compliance with the recommendations as specified in the Soils Report, and that the building pad elevations and on-site retaining wall locations and elevations have been prepared according to the approved plans. Horizontal and vertical controls shall be set and certified by a licensed surveyor or registered Civil Engineer for the following items:
 - a. Building pad elevation
 - b. Finish floor elevation
 - c. Foundation corner locations
 - d. Retaining wall(s) locations and elevations
24. TITLE 24 ENERGY COMPLIANCE: All required California Title 24 Energy Compliance Forms must be blue-lined (sticky-backed), i.e. directly printed, onto a plan sheet.
25. TOWN RESIDENTIAL ACCESSIBILITY STANDARDS: New residential units shall be designed with adaptability features for single-family residences per Town Resolution 1994-61:
 - a. Wood backing (2" x 8" minimum) shall be provided in all bathroom walls, at water closets, showers, and bathtubs, located 34 inches from the floor to the center of the backing, suitable for the installation of grab bars if needed in the future.
 - b. All passage doors shall be at least 32-inch wide doors on the accessible floor level.
 - c. The primary entrance door shall be a 36-inch-wide door including a 5'x 5' level landing, no more than 1 inch out of plane with the immediate interior floor level and with an 18-inch clearance at interior strike edge.
 - d. A door buzzer, bell or chime shall be hard wired at primary entrance.

26. BACKWATER VALVE: The scope of this project may require the installation of a sanitary sewer backwater valve per Town Ordinance 6.50.025. Please provide information on the plans if a backwater valve is required and the location of the installation. The Town of Los Gatos Ordinance and West Valley Sanitation District (WVSD) requires backwater valves on drainage piping serving fixtures that have flood level rims less than 12 inches above the elevation of the next upstream manhole.
27. HAZARDOUS FIRE ZONE: All projects in the Town of Los Gatos require Class A roof assemblies.
28. SPECIAL INSPECTIONS: When a special inspection is required by CBC Section 1704, the Architect or Engineer of Record shall prepare an inspection program that shall be submitted to the Building Official for approval prior to issuance of the Building Permit. The Town Special Inspection form must be completely filled-out and signed by all requested parties prior to permit issuance. Special Inspection forms are available from the Building Division Service Counter or online at www.losgatosca.gov/building.
29. BLUEPRINT FOR A CLEAN BAY SHEET: The Town standard Santa Clara Valley Nonpoint Source Pollution Control Program Sheet (page size same as submitted drawings) shall be part of the plan submittal as the second page. The specification sheet is available at the Building Division Service Counter for a fee of \$2 or at ARC Blueprint for a fee or online at www.losgatosca.gov/building.
30. APPROVALS REQUIRED: The project requires the following departments and agencies approval before issuing a building permit:
 - a. Community Development – Planning Division: (408) 354-6874
 - b. Engineering/Parks & Public Works Department: (408) 399-5771
 - c. Santa Clara County Fire Department: (408) 378-4010
 - d. West Valley Sanitation District: (408) 378-2407
 - e. Local School District: The Town will forward the paperwork to the appropriate school district(s) for processing. A copy of the paid receipt is required prior to permit issuance.

TO THE SATISFACTION OF THE DIRECTOR OF PARKS & PUBLIC WORKS:

Engineering Division

31. GENERAL: All public improvements shall be made according to the latest adopted Town Standard Plans, Standard Specifications and Engineering Design Standards. All work shall conform to the applicable Town ordinances. The adjacent public right-of-way shall be kept clear of all job-related mud, silt, concrete, dirt and other construction debris at the end of the day. Dirt and debris shall not be washed into storm drainage facilities. The storing of goods and materials on the sidewalk and/or the street will not be allowed unless an encroachment permit is issued by the Engineering Division of the Parks and Public Works Department. The Owner's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in the issuance of correction notices, citations, or stop work orders and the Town performing the required maintenance at the Owner's expense.

32. **APPROVAL:** This application shall be completed in accordance with all the conditions of approval listed below and in substantial compliance with the latest reviewed and approved development plans. Any changes or modifications to the approved plans or conditions of approvals shall be approved by the Town Engineer.
33. **CONSTRUCTION PLAN REQUIREMENTS:** Construction drawings shall comply with Section 1 (Construction Plan Requirements) of the Town's Engineering Design Standards, which are available for download from the Town's website.
34. **PRIOR APPROVALS:** All conditions per prior approvals (including Ordinances, etc.) shall be deemed in full force and affect for this approval.
35. **GENERAL LIABILITY INSURANCE:** The property owner shall provide proof of insurance to the Town on a yearly basis. In addition to general coverage, the policy must cover all elements encroaching into the Town's right-of-way.
36. **PUBLIC WORKS INSPECTIONS:** The Owner or their representative shall notify the Engineering Inspector at least twenty-four (24) hours before starting any work pertaining to on-site drainage facilities, grading or paving, and all work in the Town's right-of-way. Failure to do so will result in penalties and rejection of any work that occurred without inspection.
37. **RESTORATION OF PUBLIC IMPROVEMENTS:** The Owner or their representative shall repair or replace all existing improvements not designated for removal that are damaged or removed because of the Owner or their representative's operations. Improvements such as, but not limited to: curbs, gutters, sidewalks, driveways, signs, pavements, raised pavement markers, thermoplastic pavement markings, etc., shall be repaired and replaced to a condition equal to or better than the original condition. Any new concrete shall be free of stamps, logos, names, graffiti, etc. Any concrete identified that is displaying a stamp or equal shall be removed and replaced at the Contractor's sole expense and no additional compensation shall be allowed therefore. Existing improvement to be repaired or replaced shall be at the direction of the Engineering Construction Inspector and shall comply with all Title 24 Disabled Access provisions. The restoration of all improvements identified by the Engineering Construction Inspector shall be completed before the issuance of a certificate of occupancy. The Owner or their representative shall request a walk-through with the Engineering Construction Inspector before the start of construction to verify existing conditions.
38. **SITE SUPERVISION:** The General Contractor shall provide qualified supervision on the job site at all times during construction.
39. **STREET/SIDEWALK CLOSURE:** Any proposed blockage or partial closure of the street and/or sidewalk requires an encroachment permit. Special provisions such as limitations on works hours, protective enclosures, or other means to facilitate public access in a safe manner may be required.
40. **PLAN CHECK FEES:** Plan check fees associated with the Grading Permit shall be deposited with the Engineering Division of the Parks and Public Works Department prior to the commencement of plan check review.
41. **INSPECTION FEES:** Inspection fees shall be deposited with the Town prior to the issuance of any grading or building permits or recordation of the Parcel / Final Map.

42. PUBLIC WORKS INSPECTOR: The Owner shall fund a full time public works inspector, selected by the Town of Los Gatos, for the duration of the demolition and grading operations. The Owner will be charged on a time and materials basis. A deposit for the full amount, to be estimated by the Town based on the Contractor's approved schedule, shall be paid prior to issuance of the demolition permit.
43. DESIGN CHANGES: Any proposed changes to the approved plans shall be subject to the approval of the Town prior to the commencement of any and all altered work. The Owner's project engineer shall notify, in writing, the Town Engineer at least seventy-two (72) hours in advance of all the proposed changes. Any approved changes shall be incorporated into the final "as-built" plans.
44. PLANS AND STUDIES: All required plans and studies shall be prepared by a Registered Professional Engineer in the State of California and submitted to the Town Engineer for review and approval. Additionally, any post-project traffic or parking counts, or other studies imposed by the Planning Commission or Town Council shall be funded by the Owner.
45. GRADING PERMIT DETERMINATION DURING CONSTRUCTION DRAWINGS: In the event that, during the production of construction drawings and/or during construction of the plans approved with this application by the Town of Los Gatos, it is determined that a grading permit would be required as described in Chapter 12, Article II (Grading Permit) of the Town Code of the Town of Los Gatos, an Architecture and Site Application would need to be submitted by the Owner/Applicant/Developer for review and approval by the Development Review Committee prior to applying for a grading permit.
46. ILLEGAL GRADING: Per the Town's Comprehensive Fee Schedule, applications for work unlawfully completed shall be charged double the current fee. As a result, the required grading permit fees associated with an application for grading will be charged accordingly.
47. CONSTRUCTION EASEMENT: Prior to the issuance of a grading or building permit, it shall be the sole responsibility of the Owner to obtain any and all proposed or required easements and/or permissions necessary to perform the grading herein proposed. Proof of agreement/approval is required prior to the issuance of any Permit.
48. WATER METER: The existing water meter, currently located within the Arroyo Grande Way right-of-way, shall be relocated within the property in question, directly behind the public right-of-way line. The Owner shall repair and replace to existing Town standards any portion of concrete flatwork within said right-of-way that is damaged during this activity prior to issuance of a certificate of occupancy.
49. SANITARY SEWER CLEANOUT: The existing sanitary sewer cleanout, currently located within the Arroyo Grande Way right-of-way, shall be relocated within the property in question, within one (1) foot of the property line per West Valley Sanitation District Standard Drawing 3, or at a location specified by the Town. The Owner shall repair and replace to existing Town standards any portion of concrete flatwork within said right-of-way that is damaged during this activity prior to issuance of a certificate of occupancy.
50. UTILITIES: The Owner shall install all new, relocated, or temporarily removed utility services, including telephone, electric power and all other communications lines underground, as required by Town Code Section 27.50.015(b). All new utility services shall be placed underground. Underground conduit shall be provided for cable television

service. The Owner is required to obtain approval of all proposed utility alignments from any and all utility service providers before a Certificate of Occupancy for any new building can be issued. The Town of Los Gatos does not approve or imply approval for final alignment or design of these facilities.

51. UTILITY SETBACKS: House foundations shall be set back from utility lines a sufficient distance to allow excavation of the utility without undermining the house foundation. The Town Engineer shall determine the appropriate setback based on the depth of the utility, input from the project soils engineer, and the type of foundation.
52. UTILITY EASEMENTS: Deed restrictions shall be placed on lots containing utility easements. The deed restrictions shall specify that no trees, fences, structures or hardscape are allowed within the easement boundaries, and that maintenance access must be provided. The Town will prepare the deed language and the Owner's surveyor shall prepare the legal description and plat. The Owner shall pay any recordation costs. The documents shall be recorded before any grading or permits are issued.
53. SIGHT TRIANGLE AND TRAFFIC VIEW AREA: Any proposed improvements, including but not limiting to trees and hedges, will need to abide by Town Code Sections 23.10.080, 26.10.065, and 29.40.030.
54. CONSTRUCTION VEHICLE PARKING: Construction vehicle parking within the public right-of-way will only be allowed if it does not cause access or safety problems as determined by the Town.
55. ADVANCE NOTIFICATION: Advance notification of all affected residents and emergency services shall be made regarding parking restriction, lane closure or road closure, with specification of dates and hours of operation.
56. HAULING OF SOIL: Hauling of soil on- or off-site shall not occur during the morning or evening peak periods (between 7:00 a.m. and 9:00 a.m. and between 4:00 p.m. and 6:00 p.m.), and at other times as specified by the Director of Parks and Public Works. Prior to the issuance of a grading or building permit, the Owner and/or Applicant or their representative shall work with the Town Building Department and Engineering Division Inspectors to devise a traffic control plan to ensure safe and efficient traffic flow under periods when soil is hauled on or off the project site. This may include, but is not limited to provisions for the Owner and/or Applicant to place construction notification signs noting the dates and time of construction and hauling activities, or providing additional traffic control. Coordination with other significant projects in the area may also be required. Cover all trucks hauling soil, sand and other loose debris.
57. CONSTRUCTION HOURS: All subdivision improvements and site improvements construction activities, including the delivery of construction materials, labors, heavy equipment, supplies, etc., shall be limited to the hours of 8:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 4:00 p.m. Saturdays. The Town may authorize, on a case-by-case basis, alternate construction hours. The Owner shall provide written notice twenty-four (24) hours in advance of modified construction hours. Approval of this request is at discretion of the Town.
58. CONSTRUCTION NOISE: Between the hours of 8:00 a.m. to 6:00 p.m., weekdays and 9:00 a.m. to 4:00 p.m. Saturdays, construction, alteration or repair activities shall be allowed. No individual piece of equipment shall produce a noise level exceeding eighty-five (85) dBA

at twenty-five (25) feet from the source. If the device is located within a structure on the property, the measurement shall be made at distances as close to twenty-five (25) feet from the device as possible. The noise level at any point outside of the property plane shall not exceed eighty-five (85) dBA.

59. CONSTRUCTION MANAGEMENT PLAN SHEET: Prior to the issuance of any grading or building permits, the Owner and/or Applicant's design consultant shall submit a construction management plan sheet (full-size) within the plan set that shall incorporate at a minimum the Earth Movement Plan, Traffic Control Plan, Project Schedule, site security fencing, employee parking, construction staging area, materials storage areas, construction trailers, concrete washouts and proposed outhouse locations. Please refer to the Town's Construction Management Plan Guidelines document for additional information.
60. MAINTENANCE ACCESS: Prior to the issuance of any grading or building permits, the Owner shall propose maintenance access improvements for the Town Engineer to review, comment on, and approve. The Engineering Division of the Parks and Public Works Department shall approve the surface materials over each public easement.
61. SANTA CLARA VALLEY WATER DISTRICT (SCVWD): Prior to start of any work along or within Santa Clara Valley Water District (SCVWD) right-of-way/easement, the Owner shall submit construction plans to SCVWD for review and approval and obtain necessary encroachment permits for the proposed work. A copy of approved encroachment permit is required to be submitted to the Engineering Division of the Parks and Public Works Department prior to Grading/Building Permit issuance.
62. WVSD (West Valley Sanitation District): Sanitary sewer laterals are televised by West Valley Sanitation District and approved by the Town of Los Gatos before they are used. A Sanitary Sewer Clean-out is required for each property at the property line, within one (1) foot of the property line per West Valley Sanitation District Standard Drawing 3, or at a location specified by the Town.
63. SANITARY SEWER BACKWATER VALVE: Drainage piping serving fixtures which have flood level rims less than twelve (12) inches (304.8 mm) above the elevation of the next upstream manhole and/or flushing inlet cover at the public or private sewer system serving such drainage piping shall be protected from backflow of sewage by installing an approved type backwater valve. Fixtures above such elevation shall not discharge through the backwater valve, unless first approved by the Building Official. The Town shall not incur any liability or responsibility for damage resulting from a sewer overflow where the property owner or other person has failed to install a backwater valve as defined in the Uniform Plumbing Code adopted by the Town and maintain such device in a functional operation condition. Evidence of West Sanitation District's decision on whether a backwater device is needed shall be provided prior to the issuance of a building permit.
64. RELOCATION OF TRASH AND RECYCLING COLLECTION LOCATION: Prior to the issuance of any permits, an approval letter from West Valley Collection & Recycling accepting the change with the trash and recycling collection location shall be provided to the Town.
65. BEST MANAGEMENT PRACTICES (BMPs): The Owner is responsible for ensuring that all contractors are aware of all storm water quality measures and that such measures are implemented. Best Management Practices (BMPs) shall be maintained and be placed for all areas that have been graded or disturbed and for all material, equipment and/or

operations that need protection. Removal of BMPs (temporary removal during construction activities) shall be replaced at the end of each working day. Failure to comply with the construction BMP will result in the issuance of correction notices, citations, or stop work orders.

66. SITE DESIGN MEASURES: All projects shall incorporate at least one of the following measures:
 - a. Protect sensitive areas and minimize changes to the natural topography.
 - b. Minimize impervious surface areas.
 - c. Direct roof downspouts to vegetated areas.
 - d. Use porous or pervious pavement surfaces on the driveway, at a minimum.
 - e. Use landscaping to treat stormwater.
67. IMPAIRED WATER BODIES: Projects that discharge directly to CWA section 303(d) listed water bodies shall implement appropriate source control, site design and treatment measures for the listed pollutants of concern.
68. UNLAWFUL DISCHARGES: It is unlawful to discharge any wastewater, or cause hazardous domestic waste materials to be deposited in such a manner or location as to constitute a threatened discharge, into storm drains, gutters, creeks or the San Francisco Bay. Unlawful discharges to storm drains include, but are not limited to: discharges from toilets, sinks, industrial processes, cooling systems, boilers, fabric cleaning, equipment cleaning or vehicle cleaning.
69. LANDSCAPE MAINTENANCE AGREEMENT: The Owner and/or Applicant shall enter into a Landscape Maintenance Agreement with the Town of Los Gatos in which the Owner and/or Applicant agrees to maintain the vegetated areas along the project's Arroyo Grande Way frontage located within the public right-of-way. The agreement must be completed and accepted by the Town Attorney prior to the issuance of any grading or building permits.
70. EROSION CONTROL: Interim and final erosion control plans shall be prepared and submitted to the Engineering Division of the Parks and Public Works Department. A maximum of two (2) weeks is allowed between clearing of an area and stabilizing/building on an area if grading is allowed during the rainy season. Interim erosion control measures, to be carried out during construction and before installation of the final landscaping, shall be included. Interim erosion control method shall include, but are not limited to: silt fences, fiber rolls (with locations and details), erosion control blankets, Town standard seeding specification, filter berms, check dams, retention basins, etc. Provide erosion control measures as needed to protect downstream water quality during winter months. The Town of Los Gatos Engineering Division of the Parks and Public Works Department and the Building Department will conduct periodic NPDES inspections of the site throughout the recognized storm season to verify compliance with the Construction General Permit and Stormwater ordinances and regulations.
71. DUST CONTROL: Blowing dust shall be reduced by timing construction activities so that paving and building construction begin as soon as possible after completion of grading, and by landscaping disturbed soils as soon as possible. Further, water trucks shall be present and in use at the construction site. All portions of the site subject to blowing dust shall be watered as often as deemed necessary by the Town, or a minimum of three (3) times daily,

or apply (non-toxic) soil stabilizers on all unpaved access roads, parking areas, and staging areas at construction sites in order to insure proper control of blowing dust for the duration of the project. Watering on public streets shall not occur. Streets shall be cleaned by street sweepers or by hand as often as deemed necessary by the Town Engineer, or at least once a day. Watering associated with on-site construction activity shall take place between the hours of 8 a.m. and 5 p.m. and shall include at least one (1) late-afternoon watering to minimize the effects of blowing dust. All public streets soiled or littered due to this construction activity shall be cleaned and swept on a daily basis during the workweek to the satisfaction of the Town. Demolition or earthwork activities shall be halted when wind speeds (instantaneous gusts) exceed twenty (20) miles per hour (MPH). All trucks hauling soil, sand, or other loose debris shall be covered.

72. AIR QUALITY: To limit the project's construction-related dust and criteria pollutant emissions, the following the Bay Area Air Quality Management District (BAAQMD)-recommended basic construction measures shall be included in the project's grading plan, building plans, and contract specifications:
- a. All exposed surfaces (e.g., parking areas, staging areas, soil piles, graded areas, and unpaved access roads) shall be watered two times per day, or otherwise kept dust-free.
 - b. All haul trucks designated for removal of excavated soil and demolition debris from site shall be staged off-site until materials are ready for immediate loading and removal from site.
 - c. All haul trucks transporting soil, sand, debris, or other loose material off-site shall be covered.
 - d. As practicable, all haul trucks and other large construction equipment shall be staged in areas away from the adjacent residential homes.
 - e. All visible mud or dirt track-out onto adjacent public roads shall be removed using wet power vacuum street sweepers at least once per day, or as deemed appropriate by Town Engineer. The use of dry power sweeping is prohibited. An on-site track-out control device is also recommended to minimize mud and dirt-track-out onto adjacent public roads.
 - f. All vehicle speeds on unpaved surfaces shall be limited to fifteen (15) miles per hour.
 - g. All driveways and sidewalks to be paved shall be completed as soon as possible. Building pads shall be laid as soon as possible after grading unless seeding or soil binders are used.
 - h. Post a publicly visible sign with the telephone number and person to contact at the lead agency regarding dust complaints. This person shall respond and take corrective action within forty-eight (48) hours. The Air District's phone number shall also be visible to ensure compliance with applicable regulations. Please provide the BAAQMD's complaint number on the sign: 24-hour toll-free hotline at 1-800-334-ODOR (6367).
 - i. All excavation, grading, and/or demolition activities shall be suspended when average wind speeds exceed twenty (20) miles per hour.
 - j. Vegetative ground cover (e.g., fast-germinating native grass seed) shall be planted in disturbed areas as soon as possible and watered appropriately until vegetation is established.

73. **DETAILING OF STORMWATER MANAGEMENT FACILITIES:** Prior to the issuance of any grading or building permits, all pertinent details of any and all proposed stormwater management facilities, including, but not limited to, ditches, swales, pipes, bubble-ups, dry wells, outfalls, infiltration trenches, detention basins and energy dissipaters, shall be provided on submitted plans, reviewed by the Engineering Division of the Parks and Public Works Department, and approved for implementation.
74. **CONSTRUCTION ACTIVITIES:** All construction shall conform to the latest requirements of the CASQA Stormwater Best Management Practices Handbooks for Construction Activities and New Development and Redevelopment, the Town's grading and erosion control ordinance, and other generally accepted engineering practices for erosion control as required by the Town Engineer when undertaking construction activities.
75. **SITE DRAINAGE:** Rainwater leaders shall be discharged to splash blocks. No through curb drains will be allowed. Any storm drain inlets (public or private) directly connected to public storm system shall be stenciled/signed with appropriate "NO DUMPING - Flows to Bay" NPDES required language. On-site drainage systems for all projects shall include one of the alternatives included in section C.3.i of the Municipal Regional NPDES Permit. These include storm water reuse via cisterns or rain barrels, directing runoff from impervious surfaces to vegetated areas and use of permeable surfaces. If stormwater treatment facilities are to be used they shall be placed a minimum of ten (10) feet from the adjacent property line and/or right-of-way. Alternatively, the facilities may be located with an offset between 5 and 10 feet from the adjacent property and/or right-of-way lines if the responsible engineer in charge provides a stamped and signed letter that addresses infiltration and states how facilities, improvements and infrastructure within the Town's right-of-way (driveway approach, curb and gutter, etc.) and/or the adjacent property will not be adversely affected. No improvements shall obstruct or divert runoff to the detriment of an adjacent, downstream or down slope property.
76. **PUBLIC STORM DRAINAGE CONVEYANCE AGREEMENT:** The Owner shall enter into a Public Storm Drainage Conveyance Agreement with the Town to allow for the conveyance of storm drainage from the adjacent public right-of-way through the on-site private storm drain system and within the private streets to be constructed with the project. The Owner shall be solely responsible for maintaining the storm drain system at all times and shall indemnify the Town of Los Gatos. The agreement must be completed and accepted by the Town Attorney, and an electronic copy (PDF) of the recorded agreement shall be submitted to the Engineering Division of the Parks and Public Works Department, prior to the issuance of any grading or building permits.
77. **GOOD HOUSEKEEPING:** Good housekeeping practices shall be observed at all times during the course of construction. All construction shall be diligently supervised by a person or persons authorized to do so at all times during working hours. The Owner's representative in charge shall be at the job site during all working hours. Failure to maintain the public right-of-way according to this condition may result in penalties and/or the Town performing the required maintenance at the Owner's expense.
78. **PERMIT ISSUANCE:** Permits for each phase shall be issued simultaneously.
79. **COVERED TRUCKS:** All trucks transporting materials to and from the site shall be covered.

TO THE SATISFACTION OF THE SANTA CLARA COUNTY FIRE DEPARTMENT:

80. GENERAL: Review of this Developmental proposal is limited to acceptability of site access, water supply and may include specific additional requirements as they pertain to fire department operations, and shall not be construed as a substitute for formal plan review to determine compliance with adopted model codes. Prior to performing any work, the applicant shall make application to, and receive from, the Building Department all applicable construction permits.
81. FIRE SPRINKLERS REQUIRED: (As noted on Sheet A1) An automatic residential fire sprinkler system shall be installed in one- and two-family dwellings as follows: 1) In all new one- and two-family dwellings and in existing one- and two-family dwellings when additions are made that increase the building area to more than 3,600 square feet. Exception: One or more additions made to a building after January 1, 2011 that do not total more than 1,000 square feet of building area. 2) In all new basements and in existing basements that are expanded by more than 50%. NOTE: The owner(s), occupant(s) and any contractor(s) or subcontractor(s) are responsible for consulting with the water purveyor of record in order to determine if any modification or upgrade of the existing water service is required. A State of California licensed (C-16) Fire Protection Contractor shall submit plans, calculations, a completed permit application and appropriate fees to this department for review and approval prior to beginning their work. CRC Sec. 313.2 as adopted and amended by CBLMC.
82. WATER SUPPLY REQUIREMENTS: Potable water supplies shall be protected from contamination caused by fire protection water supplies. It is the responsibility of the applicant and any contractors and subcontractors to contact the water purveyor supplying the site of such project, and to comply with the requirements of that purveyor. Such requirements shall be incorporated into the design of any water-based fire protection systems, and/or fire suppression water supply systems or storage containers that may be physically connected in any manner to an appliance capable of causing contamination of the potable water supply of the purveyor of record. Final approval of the system(s) under consideration will not be granted by this office until compliance with the requirements of the water purveyor of record are documented by that purveyor as having been met by the applicant(s). 2019 CFC Sec. 903.3.5 and Health and Safety Code 13114.7
83. ADDRESS IDENTIFICATION: New and existing buildings shall have approved address numbers, building numbers or approved building identification placed in a position that is plainly legible and visible from the street or road fronting the property. These numbers shall contrast with their background. Address numbers shall be Arabic numbers or alphabetical letters. Numbers shall be a minimum of 4 inches (101.6 mm) high with a minimum stroke width of 0.5 inch (12.7 mm). Where access is by means of a private road and the building cannot be viewed from the public way, a monument, pole or other sign or means shall be used to identify the structure. CFC Sec. 505.1.
84. CONSTRUCTION SITE FIRE SAFETY: All construction sites must comply with applicable provisions of the CFC Chapter 33 and our Standard Detail and Specification SI-7. Provide appropriate notations on subsequent plan submittals, as appropriate to the project. CFC Chp. 33.

85. GENERAL: This review shall not be construed to be an approval of a violation of the provisions of the California Fire Code or of other laws or regulations of the jurisdiction. A permit presuming to give authority to violate or cancel the provisions of the fire code or other such laws or regulations shall not be valid. Any addition to or alteration of approved construction documents shall be approved in advance. [CFC, Ch.1, 105.3.6]

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DRAFT

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Sean Mullin,
Community Development Department,
Planning Division,
110 E. Main Street,
Los Gatos, CA 95030.

Date: August 25, 2020

RE: Project Description – 140 Arroyo Grande Way (S-20-013)

Dear Sean Mullin:

We bought our home, at 140 Arroyo Grande Way, Los Gatos, in June 2008. Los Gatos is a wonderful community, and we consider ourselves to be very fortunate at being able to afford a home in this town. Our family has grown since we bought our home; we have a 21-year-old son who is studying at U.C. Berkeley and a 14-year-old daughter who is attending LHGS in 2020.

Our home, which was built in 1958, is a modest 3-bed, 2-bath with 1,150 sf living space. With two grown-up children, our home does not cater to our present and future requirements. While we considered remodeling with major additions, we realized that it would not address even most of our present requirements. Therefore, we are interested in rebuilding our current home to fulfill our present, as well as, future needs. Due to the high rents in the bay area, we foresee our children continuing to stay with us as they enter adulthood. Even after our children move out to start their own families, they will inevitably visit us during the holiday season and other times of the year, and we hope to build a home that can comfortably accommodate all of us during such visits. We are hoping to build a multi-generational home that we live in for the rest of our lives, and then pass it along to our children someday.

We have the following goals for our project:

- Build a new home that incorporates the advancements in building materials and engineering standards to provide environmental sustainability, both in terms of energy efficiency and conservation of natural resources.
- Utilize an architecture and form that is in compliance with the neighborhood and accentuates the small-town essence of the town of Los Gatos.
- Design the elevations and floor plan that permit natural lightings and a convenient flow of movement within the home.
- Design the living space that addresses our current and future needs, and which at the same time allows us to entertain family and friends.
- Redesign the landscape of the property to have drought-resistance or low-water usage shrubs and plants. We plan to eliminate all lawns at the property with a view towards water conservation.

We have also spoken to the following immediate neighbors, and have apprised them of our plans to build a single-story home:

- Charlene and Ian Land – 124 Arroyo Grande Way
- Lynn and Joe Feng – 144 Arroyo Grande Way

We spoke to our neighbors in July 2020. We plan to inform other neighbors when we meet or see them next. The neighbors to our immediate right, at 124 Arroyo Grande Way, have expressed no concerns on our project, and in fact they have just finished remodeling their home.

The neighbors to our immediate left, at 144 Arroyo Grande Way, have expressed some concerns regarding their privacy due to the higher elevation of our home. While we understand their concern, we don't believe that their privacy concerns are valid due to the following reasons:

1. The floor level of the new house remains the same as the existing house.
2. The existing fence is 7' tall, with 6' of regular fence and 1' of mesh fence, which means that it is not possible to look over the fence from the floor level of the new home.
3. The neighbor's house has the garage and family room towards our side elevation. The Bedroom #2, which aligns with the neighbor's family room, has no windows on the side elevation.
4. The Bath #2, attached to Bedroom #2, will have a smoked glass window with no visibility.
5. The media room has windows on the side elevation; however, it predominantly aligns with the garage of the neighbor's house.
6. The windows in our garage are at a lower elevation, and they completely align with the neighbor's garage.
7. There is no window in the side elevation that could possibly look into the neighbor's backyard.

We are very concerned about our privacy, as well as our neighbor's privacy, and this is why we have designed the side elevation so that there is no visibility into our home from outside, and into our neighbor's home from inside our home.

Please let us know if you have any questions or concerns regarding any of the statements presented in this document.

Sincerely,

Hema and Yogesh Jhamb
140 Arroyo Grande Way,
Los Gatos, CA 95032.

Sean Mullin,
Community Development Department,
Planning Division,
110 E. Main Street,
Los Gatos, CA 95030.

Date: August 25, 2020

RE: Letter of Justification – 140 Arroyo Grande Way (S-20-013)

Dear Sean Mullin:

We bought our home, at 140 Arroyo Grande Way, Los Gatos, in June 2008, and we have been living in it since then. We live in this house with our 21-year-old son and a 14-year-old daughter. Our son attends U.C. Berkeley; however, he is at home almost every weekend, and he plans to move in back with us after he graduates. Our daughter is attending LGHS in 2020.

While our home has sufficed our needs over the past years, the living space is insufficient for our current and future needs. Our home is in a livable condition; however, it shows off age, just like any other property built in 1958 would. The plumbing, electrical and mechanical components of the home are from the era in which it was built, and they are in desperate need for an upgrade to the prevalent materials and standards of the present day.

We considered remodeling our home with major additions; however, the existing floor plan is not amenable for extension based on our needs. We also consulted with a few builders and architects, who handle projects such as ours. Based on feedback from builders and architects, and with due deliberation on our part, we decided that a demolition and rebuild would serve our needs better. Rebuilding the home would also allow us to use the latest advancements in building materials and engineering standards to confirm to the county and city regulations.

We have intentionally made every effort to make our new home compatible with the neighborhood. We have opted to rebuild our home as a single-story home as most homes in our neighborhood are single-story. We also avoided building a modern home, and instead we selected to have a country-side ranch architectural style that embodies the essence of Los Gatos. We also intend to utilize the maximum allowed living space to address our current and future needs. Some predominantly old homes in our neighborhood are smaller than our proposed home; however, we sincerely believe that these homes will eventually be rebuilt or remodeled to have more living space. This is due to the fact that housing is a major concern in the bay area and having more living space in a single-family property is one of the ways to effectively address that concern.

The living space for our proposed home is within the allowable limit set by the town of Los Gatos. There are many homes in our neighborhood, some on our street, that are bigger or similar in size as compared to our proposed home. Some examples are given below:

1. 156 Arroyo Grande Way, Los Gatos, CA 95032 – 2,034 sqft
2. 216 Arroyo Grande Way, Los Gatos, CA 95032 – 2,534 sqft
3. 220 Arroyo Grande Way, Los Gatos, CA 95032 – 2,455 sqft
4. 223 Arroyo Grande Way, Los Gatos, CA 95032 – 2,043 sqft
5. 209 Arroyo Grande Way, Los Gatos, CA 95032 – 1,929 sqft
6. 139 La Cienega Ct, Los Gatos, CA 95032 – 2,395 sqft
7. 179 La Canada Ct, Los Gatos, CA 95032 – 2,200 sqft

We truly believe that our new proposed home would blend into the neighborhood, both in terms of its architectural style and its size.

Please let us know if you have any questions or concerns regarding any of the statements presented in this document.

Sincerely,

Hema and Yogesh Jhamb
140 Arroyo Grande Way,
Los Gatos, CA 95032.



June 29 , 2020

Mr. Sean Mullin
Community Development Department
Town of Los Gatos
110 E. Main Street
Los Gatos, CA 95031

RE: 140 Arroyo Grande Way

Dear Sean:

I reviewed the drawings, and evaluated the site context. My comments and recommendations on the design are as follows:

NEIGHBORHOOD CONTEXT

The site is located in an established neighborhood of mostly one-story traditional style homes of modest size. Photographs of the site and surrounding context are shown on the following page.





THE SITE



House to the immediate left



Homes to the immediate right



Nearby homes to the left



Nearby house across Arroyo Grande Way



Nearby house to the left



Nearby house across Arroyo Grande Way

CONCERNS AND RECOMMENDATIONS

While the house would be limited to one-story in height, the design is overly complex and inconsistent with several Residential Design Guidelines.



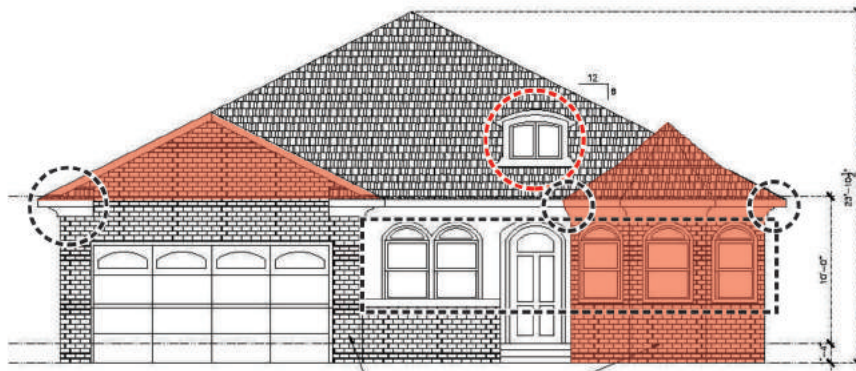
EXISTING STREET VIEW



NEW STREET VIEW

Garage front wall height and tall eaves and ridge heights are out of scale with the immediate neighborhood

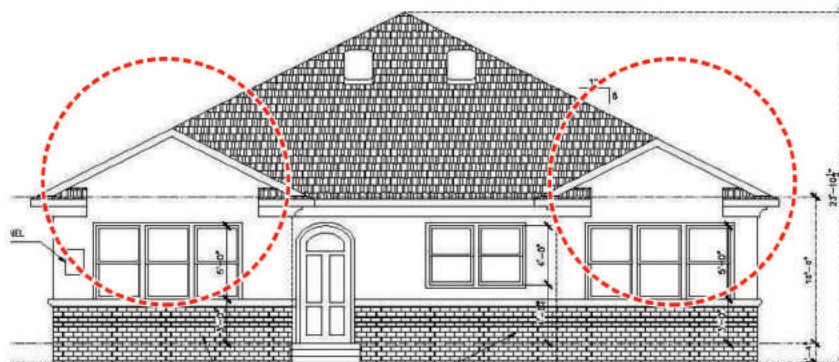
1. The tall floor to eave height and roof ridge height are out of scale with the immediate neighborhood.
2. The front elevation has too many elements fighting for attention.



Too many elements fighting for attention

- Tall gable end
- Roof dormer unrelated to the architectural style
- Complex bay window and roof form
- Arched windows
- Large stone masses
- Gable returns unrelated to the architectural style

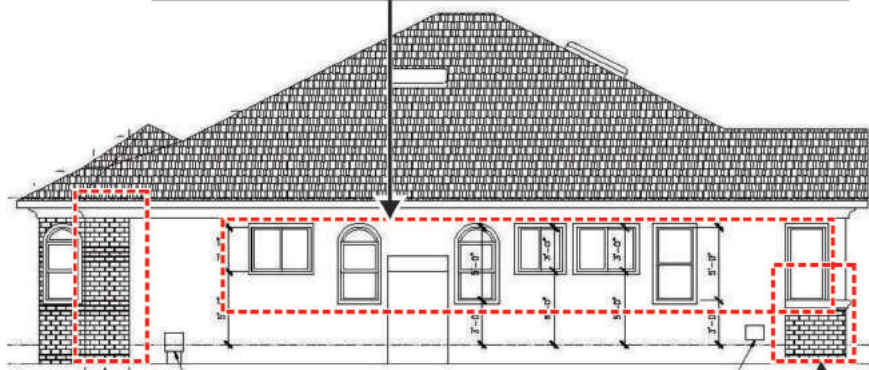
3. The gables on the rear elevation are very awkward, and unrelated to the architectural style.



Awkward gables unrelated to the roof form or architectural style

4. Wrapping the brick around on the side elevation and then stopping it in the same plane as the stucco wall is not consistent with Residential Design Guidelines 3.2.2 and 3.8.4.

Multiple window style and proportions is not consistent with Residential Design Guideline 3.7.2 and 3.7.4



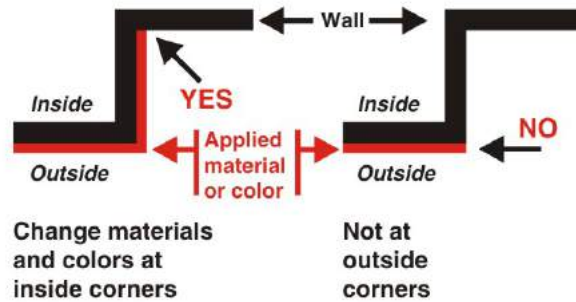
Wrapping brick around corners and then stopping is not consistent with Residential Design Guideline 3.2.2

3.2.2 Design for architectural integrity

- *In general, it is best to select a clear and distinctive architectural style rather than utilizing generic design elements or mixing elements from different architectural styles.*
- *Carry wall materials, window types and architectural details around all sides of the house. Avoid side and rear elevations that are markedly different from the front elevation.*

3.8.4 Materials changes

- *Make materials and color changes at inside corners rather than outside corners to avoid a pasted on look.*



5. The tall garage gable facing the street is out of scale with the immediate neighborhood, and makes the garage the most prominent element of the front facade. This would not be consistent with Residential Design Guideline 3.4.1.

3.4.1 Limit the prominence of garages

- *Avoid designs that allow the garage to dominate the street facade.*
- *Limit the garage width to a maximum of 50 percent of the total facade width.*
- *Set garages back from the front facade.*
- *Recess garage doors as much as possible from the garage facade.*

6. Multiple window styles and proportions are not consistent with Residential Design Guideline 3.7.2 and 3.7.4.

3.7.2 Match window types and proportions to the architectural style and to the surrounding neighborhood

- *Select window types to complement the style of the house. Each architectural style generally has one or two window types that are traditional to the style...*
- *Limit the number of different window types and proportions to enhance the visual unity of the house design.*

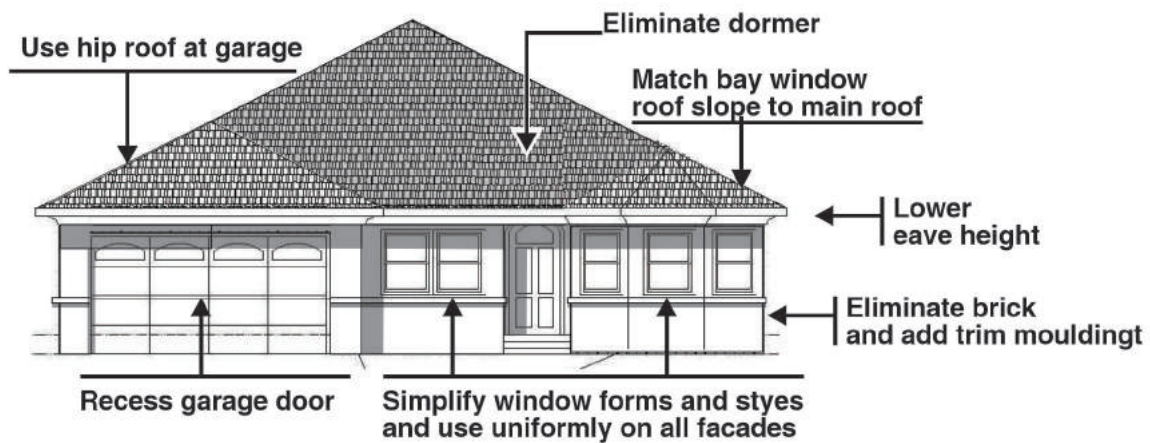
3.7.4 Design the windows with attention to matching the traditional details of the architectural style

- *Most architectural styles - except Mission, Spanish Eclectic or Modern - should have wood trim around the windows. The trim width should be matched to the style, but in general, should not be less than 3 1/2 inches wide. Head trim depth should be equal to or wider than the jamb casing, but not less than one-sixth of the opening width.*
- *Projecting window sills and heads are strongly encouraged unless the architectural style would not normally have those features.*
- *Wood trim is also encouraged on stucco houses unless the window frames are recessed at least 6 inches from the outside face of the wall. The use of stucco covered foam trim is strongly discouraged.*

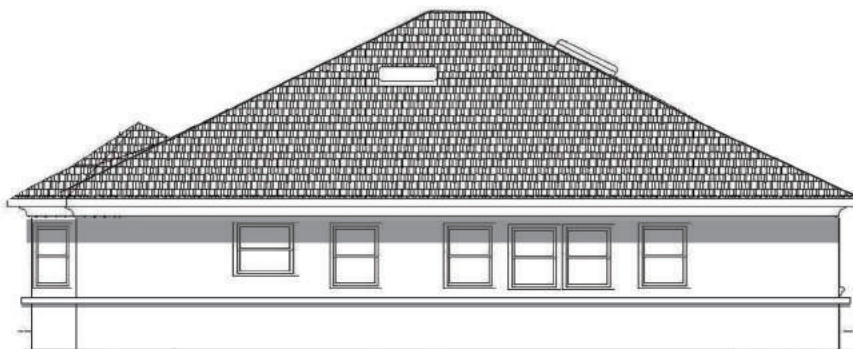
7. The landscape plan appears to show only redwood bark as ground cover. This would be in stark contrast to the treatment of other homes in the immediate neighborhood.

RECOMMENDATIONS

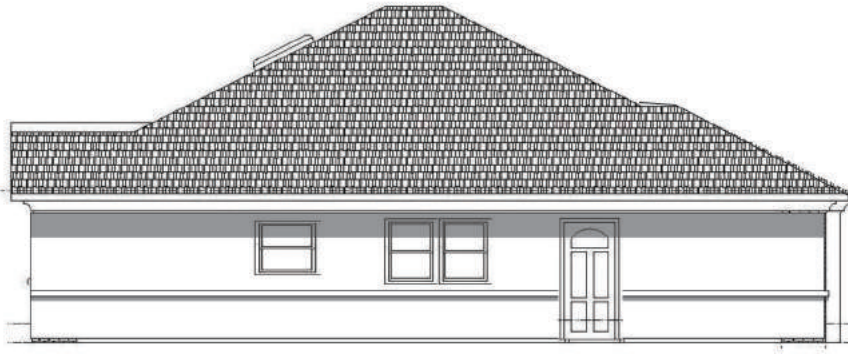
1. Lower the roof eave height as much as possible. The recommendation illustrations show a one foot decrease in height.
2. Utilize a hip roof on the garage in lieu of the proposed gable.
3. Simplify the window forms and styles and provide wood trim on all facades.
4. Eliminate the brick in favor of a uniform stucco treatment, and add a moulding trim strip.
5. Substantially recess the garage door , and select a garage door color to blend with the main body of the home rather than contrasting with it.
6. Remove the roof dormer to simplify the roof.



Recommended Rear elevation

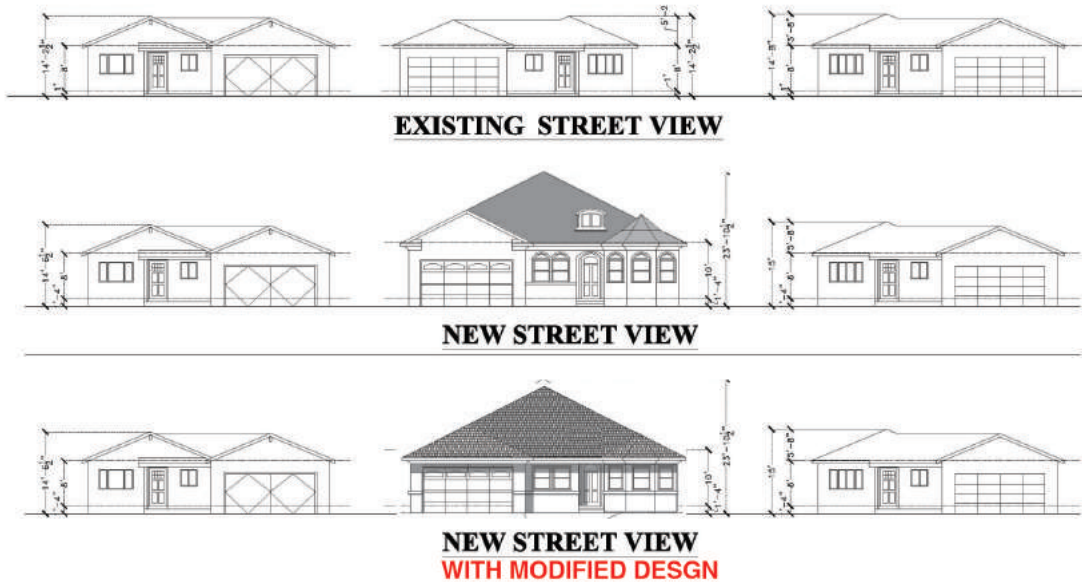


Recommended right side elevation



Recommended left side elevation

The illustration below shows the streetscape with the recommended front elevation.



While the front elevation drawing still appears rather tall, in reality the slope of the roof will substantially mitigate that effect - see example photo below



Sean, please let me know if you have any questions, or if there are other issues that I did not address.

Sincerely,
CANNON DESIGN GROUP

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Sean Mullin,
Community Development Department,
Planning Division,
110 E. Main Street,
Los Gatos, CA 95030.

Date: August 25, 2020

RE: Architectural Review Response – 140 Arroyo Grande Way (S-20-013)

Dear Sean Mullin:

We appreciate the review provided by the consultant Architect for our project at 140 Arroyo Grande Way. We have made every effort to incorporate the recommendations provided by the consultant Architect, and we have provided justifications for the suggestions that we were unable to incorporate. The architecture of our proposed home is modeled as an English country-side brick home, as depicted in the image below. We feel that this architecture is suitable for the small-town image of Los Gatos, and elements of this architecture are visible in some homes in the town.



English County-Side Brick Home

Given below is our response to the recommendations provided by the consultant Architect. We have tried our best to incorporate the suggestions either completely or partially. A justification has been provided for the suggestions that have been partially incorporated.

1. Recommendations #1: Lower the roof eave height by one foot in height

Plan Updates / Justification

We have reduced the slope of the roof to 5:12, so instead of lowering the roof eave height by 1', we have lowered the height of the whole house by 2'. We believe that this change will be more visible as it creates a smaller impression of the house in the neighborhood. We would like to keep 10' exterior walls and 10' ceilings in the house, so that we can have taller windows that provide more natural light.

2. Recommendations #2: Utilize a hip roof on the garage in lieu of the proposed gable

Plan Updates / Justification

We believe that this recommendation was primarily to reduce the prominence of the garage. We have reduced the roof slope of the garage to 5:12, and we have also removed the brick work from the garage walls, which will significantly reduce the prominence of the garage. The gable garage roof is consistent with the selected architectural style and many other homes in our neighborhood have gable garage roofs (see images below).



Gable Garage Roof at 144 Arroyo Grande Way (Immediate Left)



Gable Garage Roof at 143 Arroyo Grande Way (Across the street)

3. Recommendations #3: Simplify the window forms and styles and provide wood trim on all facades.

Plan Updates / Justification

We have simplified the window forms and have provided wood trim on all facades. We have used slightly arch windows in the front and rear elevation, and we have consistent window styles for each elevation.

4. **Recommendations #4:** Eliminate the brick in favor of a uniform stucco treatment and add a molding trim strip.

Plan Updates / Justification

We have eliminated the brick in all elevations and have provided uniform stucco treatment as suggested.

5. **Recommendations #5:** Substantially recess the garage door and select a garage door color to blend with the main body of the home rather than contrasting with it.

Plan Updates / Justification

The garage door has been recessed as suggested and changes are depicted in the floor plan. The color has also been updated to blend with the main body of the home.

6. **Recommendations #5:** Remove the roof dormer to simplify the roof.

Plan Updates / Justification

We have significantly reduced the size of the dormer; however, we require it as it is the only source to provide natural light in the entry hallway. We hope that the city will allow us to keep the roof dormer.

7. **Recommendations #7:** Match bay window roof slope to main roof.

Plan Updates / Justification

The bay window roof initially consisted of two slopes—the initial slope of 6:12, followed by 9:12 slope. We have reduced the slope to be 5:12 initially, and then followed it with a 7.5:12 slope. This leads to a slight transition in the roof slope, which in our opinion adds character to the structure. We experimented with a consistent 5:12 slope; however, that makes the structure look very flat and abates its significance. In our opinion, a flat bay window roof structure gives more prominence to the garage.

In addition to addressing the above recommendations, we have also provided our perspective on the other comments made by the consultant Architect.

Comment #1: The tall floor to eave height and roof ridge height are out of scale with the immediate neighborhood.

Plan Updates / Justification: We had initially considered a two-story home, however, we decided against it considering the prevalence of single-story homes in our neighborhood. There are, however, multiple two-story homes on our street, and we have attached a couple of images for reference. In any case, we understand the concern raised by the consultant architect and to address the concern, we have reduced the slope of the roof from 6:12 to 5:12, which has reduced the height of the house by 2'.



Two-story home at 156 Arroyo Grande Way



Two-story home at 209 Arroyo Grande Way

Comment #2: The front elevation has too many elements fighting for attention.

Plan Updates / Justification: We have made the following changes to address this comment:

- We have removed the exterior crown molding.
- We have significantly reduced the size of the roof dormer. The roof dormer is required to provide natural light in the entry hallway. We would like to build an energy efficient home, so we would prefer natural light where possible.

- We have simplified the window layout in the front elevation and have updated the windows to have a very slight arch.
- We have removed all brick work and have provided consistent stucco treatment.

Comment #3: The gables on the rear elevation are very awkward, and unrelated to the architectural style.

Plan Updates / Justification: The review suggested the use of a hip roof on the rear elevation. We spend a lot of time in the backyard and it is also the place where we host most of our gatherings with family and friends. Therefore, we would like to have certain architectural design elements in the rear elevation to appreciate the home we have built. Since the rear elevation is not visible from the street, we sincerely hope that the city will allow us to keep the gable roof in the rear elevation.

Comment #4: Wrapping the brick around on the side elevation and then stopping it in the same plane as the stucco wall is not consistent with residential design guidelines 3.2.2 and 3.8.4.

Plan Updates / Justification:

We have removed brick work and have provided consistent stucco treatment.

Comment #5: The tall garage gable facing the street is out of scale with the immediate neighborhood and makes the garage the most prominent element of the front facade. This would not be consistent with Residential Design Guideline 3.4.1.

Plan Updates / Justification: We have reduced the roof slope to 5:12, which has resulted in a reduction in garage gable height. We have also removed all brick work to make the garage less prominent.

Comment #6: Multiple window styles and proportions are not consistent with Residential Design Guideline 3.7.2 and 3.7.4.

Plan Updates / Justification: We have updated the right-side elevation to have a consistent window style. All the elevations have a window style that is consistent for the given elevation.

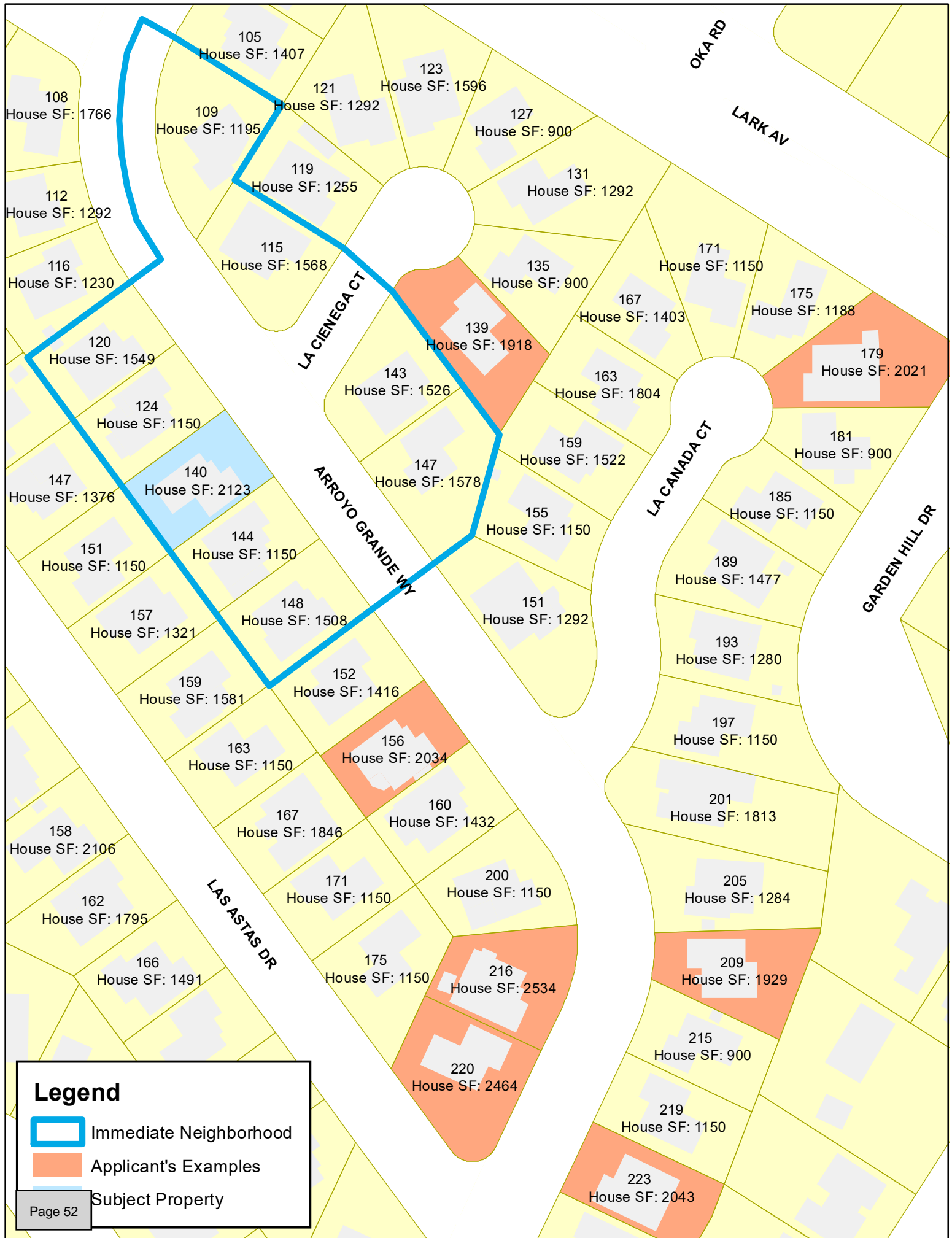
Comment #7: The landscape plan appears to show only redwood bark as ground cover. This would be in stark contrast to the treatment of other homes in the immediate neighborhood.

Plan Updates / Justification: Since a landscape plan is not required for our project, we have removed it from the formal submission. We will use low-water plants and trees to conserve natural resources, and there will be no lawns on the property.


Please let us know if you have any questions or concerns regarding any of the statements presented in this document.


Sincerely,

Hema and Yogesh Jhamb
140 Arroyo Grande Way,
Los Gatos, CA 95032.



Legend

 Immediate Neighborhood

 Applicant's Examples

 Subject Property

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TOWN OF LOS GATOS
PARKS AND PUBLIC WORKS DEPARTMENT
PHONE (408) 399-5770
FAX (408) 354-6824

SERVICE CENTER
41 MILES AVENUE
LOS GATOS, CA 95030

A Tree Review of
The Proposed New Residence at
140 Arroyo Grande Way
Los Gatos, California

Property Owner/Applicant: Yogesh Jhamb
APN: 424-23-048
Zoned R-1:8

Submitted to:

Sean Mullin, AICP
Associate Planner
Community Development Department
Town of Los Gatos
110 E. Main Street
Los Gatos, California 95030

Submitted by:

Robert Moulden
Los Gatos Town Arborist
ISA Certified Arborist: #WE-0532A

November 2, 2020



TOWN OF LOS GATOS
PARKS AND PUBLIC WORKS DEPARTMENT
PHONE (408) 399-5770
FAX (408) 354-6824

SERVICE CENTER
41 MILES AVENUE
LOS GATOS, CA 95030

Introduction

At your request, I inspected the plans for the proposed demolition of an existing single-family residence and construction of a new single-family residence at 140 Arroyo Grande Way.

Trees on Site/ Recommendation

There are no trees on the site proper that are in conflict with project. However, there are two (2) Chinese pistache street trees in the parking strip in front of the residence. These trees need to be protected either by putting chain link fencing around each tree (3' on each side), or by fencing the entire parking strip using chain link fencing. This fencing should be in place before project begins and shall be in place for the duration of project.

Sec.29.10.1005. – Protection of trees during construction

- (a) Protective tree fencing shall specify the following:
- (1) Size and materials: A five (5) or six (6) foot high chain link fencing, mounted on two-inch diameter galvanized iron posts, shall be driven into the ground to a depth of at least two (2) feet at no more than 10-foot spacing. For paving area that will not be demolished and when stipulated in a tree preservation plan, posts may be supported by a concrete base.
 - (2) Area type to be fenced. Type I: Enclosure with chain link fencing of either the entire drip line area or at the tree protection zone (TPZ), when specified by a certified or consulting arborist. Type II: Enclosure for street trees located in a planter strip: chain link fence around the entire planter strip to the outer branches. Type III: Protection for a tree located in a small planter cut-out only (such as downtown): orange plastic fencing shall be wrapped around the trunk from the ground to the first branch with 2-inch wooden boards bound securely on the outside. Caution shall be used to avoid damaging any bark or branches.
 - (3) Duration of Type I, II, III fencing. Fencing shall be erected before demolition; grading or construction begins and remain in place until final landscaping is required. Contractor shall first obtain the approval of the project arborist on record prior to removing a tree protection fence.
 - (4) Warning sign. Each tree fence shall have prominently displayed an 8.5 x 11-inch sign stating: "Warning—Tree Protection Zone-this fence shall



TOWN OF LOS GATOS
PARKS AND PUBLIC WORKS DEPARTMENT
PHONE (408) 399-5770
FAX (408) 354-6824

SERVICE CENTER
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LOS GATOS, CA 95030

not be removed and is subject to penalty according to Town Code 29.10.1025".

- (b) All persons shall comply with the following precautions:
- (1) Prior to the commencement of construction, install the fence at the drip line, or tree protection zone (TPZ) when specified in an approved arborist report, around any tree and/or vegetation to be retained which could be affected by the construction and prohibit any storage of construction materials or other materials or vehicles inside the fence. The drip line shall not be altered in any way so as to increase the encroachment of the construction.
 - (2) Prohibit excavation, grading, drainage and levelling within the drip line of the tree unless approved by the director.
 - (3) Prohibit disposal or depositing of oil, gasoline, chemicals or other harmful materials within the drip line of or in drainage channels, swales or areas that may lead to the drip line of a protected tree
 - (4) Prohibit the attachment of wires, signs or ropes to any protected tree.
 - (5) Design utility services and irrigation lines to be located outside of the drip line when feasible.
 - (6) Retain the services of the certified or consulting arborist for periodic monitoring of the project site and the health of those trees to be preserved. The certified or consulting arborist shall be present whenever activities occur which poses a potential threat to the health of the trees to be preserved.
 - (7) The director and project arborist shall be notified of any damage that occurs to a protected tree during construction so that proper treatment may be administered.

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From: Jiuhoa Feng <joe_feng@icloud.com>
Sent: Saturday, August 15, 2020 5:44 PM
To: Sean Mullin <SMullin@losgatosca.gov>
Subject: Re: My Neighbor's Remodel

Sean,

Thank you very much for your email which provides me the details of my neighbor's plan.

Two weeks ago, I received a text message from my neighbor saying he is going to remodel his house. When I check his plan on the link "pending projects website", it's a new construction of a house! What my neighbor told me is not true. I feel I'm not respected as a next door neighbor.

I have asked my friends in builder Industry to estimate possible influences on my side. So far, there's a privacy concern. He plans elevate my side wall two feet. The windows on the wall might be higher than the fence between his house and my house. From those windows, one can see my side and back yards.

I'll let you know if I have other concerns.

Thank you again!

Jiuhoa Feng

From: IAN LAND <iland8@icloud.com>
Sent: Sunday, August 23, 2020 7:26 PM
To: Sean Mullin <SMullin@losgatosca.gov>; Charlene Land <csland@garlic.com>; IAN LAND <iland_7@yahoo.com>; IAN LAND <iland8@icloud.com>
Subject: Thanks and questions regarding 140 Arroyo Grande

Sean,

We are nearing completion on our remodel project at 124 Arroyo Grande Way and we recently moved back in. It is really a wonderful change and we thank you for your help to make this a reality.

It turns out our next door neighbors are looking to remodel their home also. While we encourage that change, we do have some concerns about their design. They are moving forward to the limit, they are moving toward us to the limit, they are raising their roof quite high and they seem to have a second story (dormer) window facing us. Not only does this block part of our front view it also could impede light to our windows on their side and it seems to have a privacy issue with the high window.

What is the process for us to voice our concerns? What would you recommend we do with these concerns?

Thanks in advance for your help.

Best Regards
Ian Land

From: Jiuhoa Feng <joe_feng@icloud.com>
Sent: Wednesday, September 2, 2020 6:18 PM
To: Sean Mullin <SMullin@losgatosca.gov>
Subject: Re: My Neighbor's Remodel

Sean,

I had received my neighbor's updated plan yesterday. He believes that the elevated windows will not impact my privacy. In contrast, he even adds two more windows on my side.

In particular, my privacy concern is following: My right side of house has two regular windows (7' high), one smoked window and a garage side door. Also, there is a side yard with a door to go outside. The fence in between is 7' tall in total with 6' wood fence plus 1' mesh fence. The neighbor plans to elevate the windows up to 8' to 9' high, which is 1' to 2' higher than the fence. The reason I have privacy concern is simple: The windows are significantly higher than the fence.

I would like to ask City to make a judgment. Please let me know if I'm wrong.

In addition, I have concern on the impact of view and light. The neighbor plans to elevate new house as high as 21', which is 9' higher than the original house. It will impact my house's view and block light.

Thank you.

Jiuhoa

From: Jiuhoa Feng <joe_feng@icloud.com>
Sent: Thursday, September 10, 2020 7:39 PM
To: Sean Mullin <SMullin@losgatosca.gov>
Subject: Re: My Neighbor's Remodel

Sean,

Thanks for your email. Town's Residential Design Guidelines is very helpfully to me.

I like attach two photos that show my side adjacent the neighbor.

The first photo: door for going out; garage door with a window, 6' high solid fence topped by 1' non-solid fence.

The second photo: one regular window, one small smoke window, 7' high solid fence.

Thank you again.

Jiuhoa

P. S. Please see attached.



124 Arroyo Grande Way
Los Gatos, CA 95032

22 December 2020

Dear Sean,

We would like to respond to the pending application and justification letter for new construction at 140 Arroyo Grande Way. We live at 124 Arroyo Grande Way with the south-facing living area of our home facing the proposed new construction at 140 Arroyo Grande Way. We have spoken to the homeowners about our concerns and would also like to present them to the Town.

As 21-year owners of our home, one of the things we most like about the neighborhood is the well-spaced homes. As these 1958-built homes age, we appreciate and encourage updates to the homes while keeping the unique benefits of this neighborhood, including the space between dwellings that enables more privacy and low roof heights which provide sunlight.

Our top priorities as homeowners in this neighborhood are space between homes, privacy, sunlight and a wide view of the sky. As you know, we recently remodeled our home and we worked to maintain these important priorities. The present plans for 140 Arroyo Grande Way impact these priorities and the characteristics of this neighborhood.

Personal loss of privacy, sunlight and sky view

On the south side of our home, there are five windows: two bedroom, two living room and a window in the foyer. At least 4 of the 5 windows will have reduced privacy, sunlight and sky view by the proposed design at 140 Arroyo Grande. This is because the design:

1. Raises the roof peak height
2. Raises the top height of the windows nearly two feet above the top of our own
3. Pushes toward our house to the easement limit of 8 feet
4. Moves forward toward the street to the easement limit of 25 feet for the complete available space of the front of the lot

REQUEST: We would like to see reduction of this impact by reducing the expansion toward our property, maintaining a similar height of the present roof and keeping their north-facing windows near their current height or at least below fence-top at the top of the windows. We are willing to split the cost of a taller fence to support their desire for higher windows.

Neighborhood characteristics

Our neighborhood is geographically flat with one-story homes of similar height being typical, especially in recent remodels and homes on a rectangular lot. Homes are characteristically stucco-covered, ranch-style homes with multi-peaked roofs that keep the roof lines low.

Given these characteristics, we would like to add some context and data to the justification letter for the proposed construction that sites seven homes in the neighborhood.

Contextual Data

Please review the contextual details regarding the justification of the new construction against the 7 homes cited:

Four two-story homes:

- Two back up against the hill facing Garden Hill Drive with no rear neighbors
- One is on a much larger lot (18% larger at 7546-sq-ft)
- The fourth is mid-block with the second story being a legacy approval
- These four homes were listed for justifying greater square footage, but it was not noted that they occupy a smaller portion of the lots than the proposed

Three one-story homes:

- None of the three have neighbors on all sides: Two are corner lots that were expanded toward the street side with little or no impact to adjacent neighbors and the third is at the end of a cul de sac with no rear neighbors (backyard ends at the corner of Lark Ave and Garden Hill).
- All three expanded one-story homes have larger lots (7800 - 8712 sq ft)
- All three have similar foot prints on those lots: 25%, 30% and 31% of their lot size, well below the 40% proposed

Additional House and Lot Size Information

We've added an appendix with pictures and charts of the dwelling lot footprints of the 30 homes nearest to the applicant lot which add similar data to the comparisons in terms of dwelling footprint. Note they broaden and confirm the data above, showing dwelling footprints **ranging from 13% to 34% with an average dwelling footprint of 22%** (including corner lots and hill-facing backyards).

County records show that that 8 of the 30 nearby neighborhood homes have had remodels between 2010 and 2020. The range of additional square footage is from 158 to 1107 square feet with an **average of adding 459 square feet**, whereas the proposed is nearly three times the average and beyond the 1107 maximum of the last decade. All of these increases are included in calculations of the average neighborhood footprint of 22% of lot size. Again, the proposed construction is well beyond both the average actual increase and the resulting footprint.

Roof height data is more difficult to accumulate, so we've added photos taken from the roof of our home included in the appendix. You can see that aside from a single legacy two-story home, the roof peaks remain similar in height. In these photos you will also see we did increase our own roof between 1 and 2 feet higher for a distance of 7.5' of the total of 58' length of the home (13%) at a maximum height of 13'6" from grade at a corner of the home that should not impact our neighbor's skylight to the North.

Key Concerns

Our key concern is that the increased roof height would jut well above the four houses which precede it as you travel from Lark Avenue south down Arroyo Grande Way and impede the south facing sunlight and sky view at 124 Arroyo Grande Way (for reference, a picture is included in the appendix of sunlight at 8:18am Wednesday December 16th). If our understanding of the architectural drawings are correct, the roofline extends above not only the telephone lines, but also the 1st level of power lines nearly 20' into the air in the middle of the neighborhood. This could have a significant impact to the neighborhood looks as well as the light reaching our south-facing windows.

In addition to roof height, the home design proposes the use of 40% of the lot size, more than any of the homes in the proposal data or in the additional data set that is provided below. The average of those 7 homes listed in the proposal data set is 30% with a range of 25 to 34%.

Summary

Please take the above context of the neighborhood, the additional data for compared homes and our priorities into consideration as you review the plans for new construction. We would like to see the plans updated to be more appropriate to the neighborhood characteristics and more considerate of our priorities as direct neighbors. We appreciate the town's careful scrutiny of such to benefit the applicants, the Town and existing property owners. We are open to questions and discussion on the above.

Thank you for your time and consideration on this matter.

Respectfully,

Ian Land

Charlene Land

(Attached pictures, chart and data)

Attachments

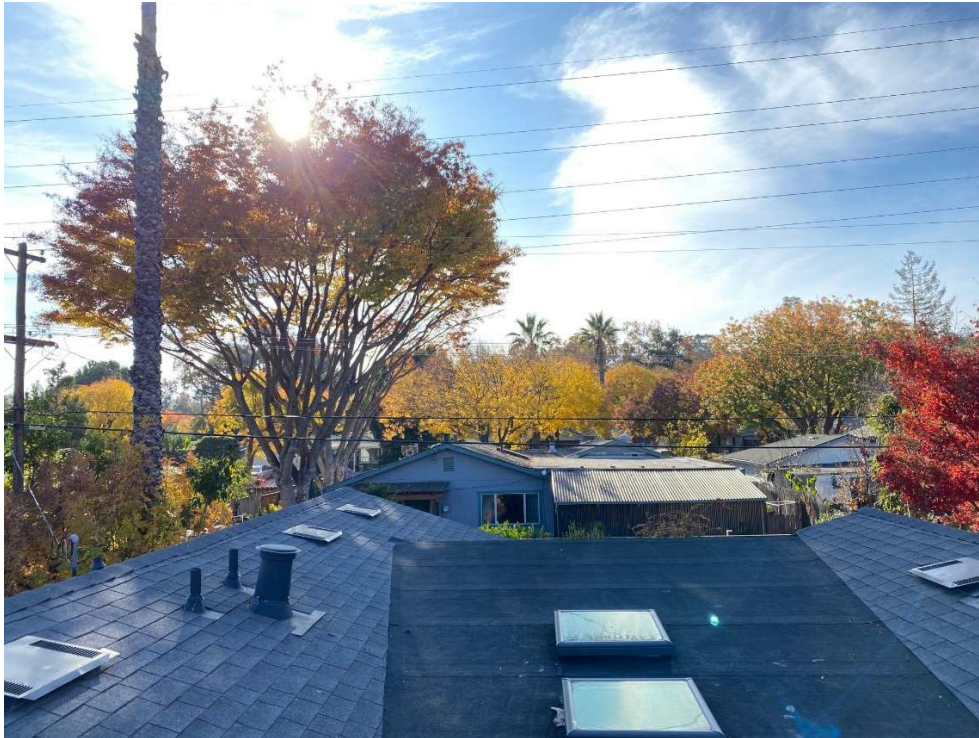
Bedroom window view looking south at 140 Arroyo Grande Way from 124 Arroyo Grande Way at 8:18am on Wednesday, December 16th, 2020.



South-facing roofline view from 124 Arroyo Grande Way (below) – 140 Arroyo Grande roofline would change significantly



West facing roof view from 124 Arroyo Grande – all roofs are similar height



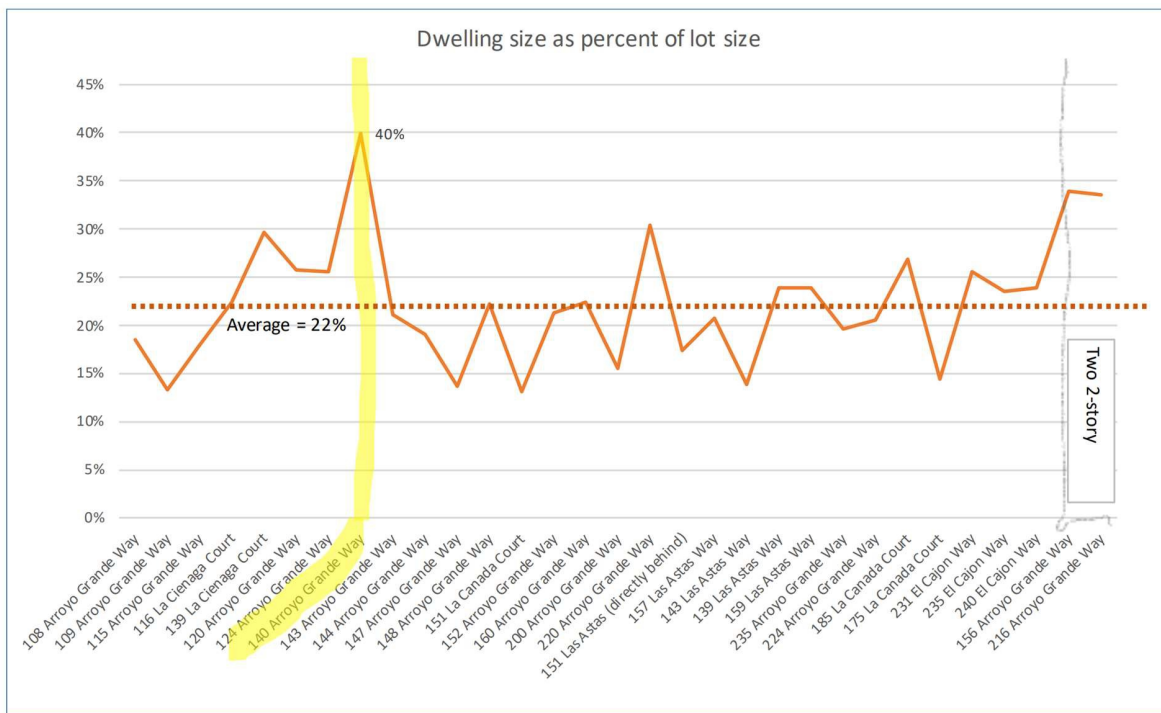
North facing roof view below – rooflines are similar height



East facing roof view – neighbor rooflines are across the street



Chart with additional dwelling size data below – note that 140 Arroyo Grande way is proposed to be substantially above **all** others on a small to mid-size lot with three neighbors



Background data for the dwelling-size chart

Address	Home Size	Lot Size	% of lot	Additional sq ft or # stories	Year of Remodel	Corner Lot
Summary of Data						
140 Arroyo Grande (proposed)	2566	6425	40%	1416		
Neighborhood Average (30 homes)	1608	7350	22%			
Homes remodeled after 2010 (9 homes - marked in red)				459		
Homes in Nearby Neighborhood						
108 Arroyo Grande Way	1765	9544	18%			
109 Arroyo Grande Way	1195	9000	13%			
115 Arroyo Grande Way	1292	7215	18%			
116 La Cienaga Court	1568	7000	22%	346	Pending	
120 Arroyo Grande Way	1549	6000	26%			
124 Arroyo Grande Way	1647	6425	26%	340	2020	
139 La Cienaga Court	2395	8093	30%			
139 Las Astas Way	1549	6500	24%			
140 Arroyo Grande Way	1150	6425	18%			
143 Arroyo Grande Way	1526	7263	21%			Yes
143 Las Astas Way	900	6500	14%			
144 Arroyo Grande Way	1150	6011	19%			
147 Arroyo Grande Way	1153	8450	14%			
148 Arroyo Grande Way	1508	6800	22%			
151 La Canada Court	1292	9860	13%			
151 Las Astas (directly behind)	1150	6625	17%			
152 Arroyo Grande Way	1416	6677	21%			
156 Arroyo Grande Way	2034	6000	34%	2		
157 Las Astas Way	1321	6400	21%			
159 Las Astas Way	1581	6634	24%			
160 Arroyo Grande Way	1432	6400	22%			
175 La Canada Court	1155	8050	14%	228	2014	
179 La Canada Court	2200	8712	25%			
185 La Canada Court	1646	6137	27%	499	2017	
200 Arroyo Grande Way	1150	7448	15%			
209 Arroyo Grande Way	1929	7797	25%			
216 Arroyo Grande Way	2534	7546	34%	2		
220 Arroyo Grande Way	2455	8100	30%			Yes
223 Arroyo Grande Way	2043	6720	30%			
224 Arroyo Grande Way	1804	8800	21%	556	2012	Yes
231 El Cajon Way	2395	9398	25%	1107	2018	
235 Arroyo Grande Way	1292	6600	20%	158	2014	
235 El Cajon Way	1748	7405	24%	281	2018	
240 El Cajon Way	1761	7380	24%	613	2016	
Initial Justification						
139 La Cienaga Ct	2395	7800	31%			Yes
156 Arroyo Grande Way	2034	6000	34%	2		
179 La Canada Court	2200	8712	25%			
209 Arroyo Grande Way	1929	7797	25%			
216 Arroyo Grande Way	2534	7546	34%	2		
220 Arroyo Grande Way	2455	8100	30%	1		Yes
223 Arroyo Grande Way	2043	6720	30%			

From: Jiuhua Feng <joe_feng@icloud.com>
Sent: Tuesday, March 16, 2021 8:30 PM
To: Sean Mullin <SMullin@losgatosca.gov>
Subject: Re: My Neighbor's Remodel

Sean,

Thank you so much for your email. We have received the notice of public hearing. we would like to express our privacy concerns about the project plan at 140 Arroyo Grande Way, Los Gatos.

§ 2.5.2 on p. 20 of "Single and Two Family Residential Design Guidelines, Town of Los Gatos" (hereinafter the Guidelines) require design with sensitivity to adjacent neighbors and states the following:

Never-the-less, additions to existing homes and new houses should be planned with an awareness of the impacts which they will have on the views, sky exposure, sun access and privacy of neighbors (see Section 3.11 for additional guidelines).

§ 3.11 of the Guidelines further delineates more details about how additions to existing homes should be planned with an awareness of the impacts on the privacy of neighbors in that:

§ 3.11.2

- Windows should be placed to minimize views into the living spaces and yard spaces near neighboring homes.
- When windows are needed and desired in side building walls, they should be modest in size and not directly opposite windows on adjacent homes.

(Emphasis added).

Based on the published project plan and the Guidelines, we would like to explicitly, formally express our concerns.

The project plan proposes to increase views, instead of minimizing views stated in the Guidelines, into our private living spaces and yard spaces. Several months ago, we had expressed our concerns about the size and especially the height of the media room double window (6' x 5') (W x H) in the project plan. To our great surprise and disappointment, the current plan of 140 Arroyo Grande Way not only failed to address any of our privacy concerns but instead added two more large, vertically installed windows (3'x5' each) with the height of 8-foot off the floor along the same side facing our house and side yard. It seems to us that we have been "punished" simply because we exercised our right to express our concerns.

Moreover, the project plan of neighbors at 140 Arroyo Grande Way proposes to use four large windows (3'x 5' each) facing our living spaces and yard spaces. To further exacerbate our privacy concerns, the top edge of two of these large windows is 9' above the floor, and the top edge of the remaining two large 3' x 5' windows is 8' despite the 7'-tall fence (with one-foot lattice top) dividing our property and our neighbor's property. In essence, these four large windows are one-foot or two-foot taller than our common fence

(without accounting for the one-foot lattice, see-through section) to provide a direct line-of-sight into our private living spaces and yard spaces.

In addition, these four windows on our side include one 4' x 3' (W x H) window for a bath room, one 6' x 5' double-window for the media room, and two 3' x 5' windows for the garage. One of the 3' x 5' windows for the garage is directly opposing our window for the garage. This size and the placement of a 3' x 5' window opposite my existing window appears to contradict § 3.11.2 which states, inter alia, that "[w]hen windows are needed and desired in side building walls, they should be modest in size and not directly opposite windows on adjacent homes." (Emphasis added). Furthermore, the choice of different sizes and placement of these four windows by the owner of 140 Arroyo Grande Way clearly demonstrate that the owner apparently respects his own privacy by adopting a smaller, smoke and horizontally installed window for the bath room while ignoring his neighbors' privacy by installing three large (e.g., one 6' x 5' and two vertically installed 3' x 5') window high in the areas where his privacy concerns are reduced or minimal without regard to his neighbor's privacy concerns.

Finally, this current project plan has given us the impression that the project plan has been prepared without regard to the City of Los Gatos' Guidelines as if the Guidelines did not exist at all, and more importantly that our privacy concerns are non-issue as we were once told by the owner of the property at 140 Arroyo Grande Way.

Please feel free to contact us if you have any questions or concerns. Thank you again for your invaluable time and efforts.

Jiuhua

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From: Yogesh Jhamb <jhamb.yogesh@gmail.com>
Sent: Thursday, September 10, 2020 10:15 AM
To: Sean Mullin <SMullin@losgatosca.gov>
Subject: Re: My Neighbor's Remodel

Thanks, Sean! We appreciate your keeping us in the loop! This is the same neighbor that had expressed some concerns earlier. I have repeatedly tried reaching out to him to discuss this; however, he prefers to address his concerns to the city hoping for a favorable resolution. We would also prefer to let the city make the final decision and we will abide by it. I had provided our response in the Project Description document and it is also given below. Please document and forward it to the deciding body. I have reviewed Residential Design Guidelines and I believe we are in compliance to those guidelines. We also plan to have fruit trees in both the side yards and they should help mitigate the privacy concerns also.

Response to neighbor's privacy concern from the Project Description document:

The neighbors to our immediate left, at 144 Arroyo Grande Way, have expressed some concerns regarding their privacy due to the higher elevation of our home. While we understand their concern, we don't believe that their privacy concerns are valid due to the following reasons:

- 1. The floor level of the new house remains the same as the existing house.*
- 2. The existing fence is 7' tall, with 6' of regular fence and 1' of mesh fence, which means that it is not possible to look over the fence from the floor level of the new home.*
- 3. The neighbor's house has the garage and family room towards our side elevation. The Bedroom #2, which aligns with the neighbor's family room, has no windows on the side elevation.*
- 4. The Bath #2, attached to Bedroom #2, will have a smoked glass window with no visibility.*
- 5. The media room has windows on the side elevation; however, it predominantly aligns with the garage of the neighbor's house.*
- 6. The windows in our garage are at a lower elevation, and they completely align with the neighbor's garage.*
- 7. There is no window in the side elevation that could possibly look into the neighbor's backyard.*

We are very concerned about our privacy, as well as our neighbor's privacy, and this is why we have designed the side elevation so that there is no visibility into our home from outside, and into our neighbor's home from inside our home.

Best,
-Yogi

Sean Mullin,
Community Development Department,
Planning Division,
110 E. Main Street,
Los Gatos, CA 95030.

Date: January 11, 2021

RE: Response to Comments from Neighbors at 124 Arroyo Grande Way
Application S-20-013 – 140 Arroyo Grande Way

Dear Sean:

This letter is in response to the comments provided by our neighbors, Charlene and Ian Land residing at 124 Arroyo Grande Way, on our project that entails the construction of a new home at 140 Arroyo Grande Way. We feel that our neighbor's comments are unjustified and inaccurate, and given below is our attempt to address these comments with the relevant facts.

1. **Incorrect Data:** First of all, we are very disappointed that our neighbors have deliberately taken the **incorrect** size of the proposed home in their calculations. Our neighbors have misrepresented the facts by doing the following:
 - a. **The living area of the proposed home is stated as 2566 s.f., whereas it is actually 2123 s.f.** Having recently remodeled their own home, our neighbors are well aware that the garage area doesn't count towards the living area. However, they have still chosen to include the garage space of 428 s.f. in the living area, while ignoring the garage area for the homes they selected to compare against our proposed home.
 - b. Our neighbors have intentionally exaggerated the difference in the living area-to-lot size ratio provided in the "Contextual Data" section of their document by **including** the garage area as living space for our proposed home and **excluding** the garage area in the living space for the homes they selected for the comparison.
 - c. The neighbor's document also depicts a "Dwelling size as a percent of lot size" chart, which is inaccurate due to the difference in the living area calculations of the proposed home and the homes selected for the comparison.
2. **Neighbor's Concern - Space Between Homes in the Neighborhood:** Our neighbors have indicated that having larger homes limits the space between homes in the neighborhood. We disagree with this assessment due to the following reasons:
 - a. The city allows only 40% of the land to be used for building a home—the remaining 60% is meant to keep the space between homes. People who require more space generally prefer to live in the mountains or in rural areas.
 - b. It is also important to note that housing is a major concern in the Bay Area and the choices are either to build more on the existing land or build multi-story homes. We chose the former approach to build more on the existing land in accordance with what

is permitted by the city. The setbacks specified in our plans from the adjacent properties and the curb are in accordance with the guidelines provided by the city.

3. **Neighbor's Concern - Privacy:** Our neighbor's concern about privacy is unfounded as we respect the privacy of neighbors and have therefore designed the both the left and right elevations to have windows only when they are absolutely necessary. Some important points to note are:
 - a. The floor level of the new house remains the same as the existing house.
 - b. Bedroom #1 and the Master Bedroom that are towards our neighbors at 124 Arroyo Grande Way do not have any windows on the right elevation.
 - c. The Bath #1 and Master Bath will have windows on the right elevation; however, they will have smoked glass with no visibility.
 - d. There are only two windows in the family room that have visibility to our neighbor's home. However, the floor level remains the same and any concerns can be mitigated with a higher fence (to the extent allowed by the city) and by having trees to maintain privacy. We are willing to share the cost of a higher fence, and our neighbors already have a lot of trees in their side-yard towards our house. If required, we will plant more trees to address the privacy concerns.
4. **Neighbor's Concern – Sunlight / View of Sky:** The concerns regarding sunlight and the view of the sky are without any merit due to the following:
 - a. Our neighbors have attached a photo of the sunrise at 8:18 am on Dec 16th, 2020, indicating that a higher roof will block sunlight. The Sun spreads its lights all around and a direct view of the Sun is not required to get light into a room.
 - b. We also want to highlight that the attached photo of the sunrise depicts the trees that the neighbors have planted in the side-yard towards the proposed home. These trees have currently shed their leaves in the fall, however, in full bloom they would probably block more sunlight than the proposed home is accused of doing.
 - c. We would also like to point out that our home is south-east to our neighbors and keeping in mind the Sun's trajectory, we believe that there will be sufficiently light for our neighbors throughout the day. We had initially considered building a two-story home, however, we decided against it out of consideration of sunlight and privacy for all our neighbors.
5. **Neighbor's Concern – Adherence to Neighborhood:** Our neighbors have indicated that they recently remodeled their home and made marginal increase in the living area to maintain the properties of the neighborhood. We don't believe this to be true due to the following reasons:
 - a. We believe that our neighbor's remodel was primarily driven by financial considerations, as they did not want to trigger the additional property tax assessment by changing more than 51% of the exterior walls.
 - b. We would also like to point out that our neighbors, Charlene and Ian Land, have only one child, who is currently enrolled in an undergraduate program in Utah. We believe that an out-of-state child factored in their decision of remodeling on a smaller scale more than any neighborhood considerations.

While we want to build a new home considering our current needs, we also want to remain cognizant of future requirements. Our requirements are different than our neighbors and we would like our new home to cater to our needs, not our neighbors. We have a 21-year-old son, who recently graduated from Berkeley and is applying to a graduate program at Stanford. While at Berkeley, our son was home every weekend, and he prefers to continue living at home through graduate school and possibly well after that. We also have a daughter, who is a freshman at Los Gatos High. Since both our children are grown-up, they require the privacy of a separate room and bath.

Finally, we want to reiterate the reality that times are changing, and life is not what it used to be in 1958, when these homes were initially built. California and the Bay Area are facing a housing crisis and it is important that new constructions make the best utilization of the available land in accordance with the guidelines set by the city. We are happy to address any legitimate concerns of our neighbors, however, all we have heard so far are egregious and inaccurate claims backed by incorrect data.

We sincerely hope that the city officials will understand our position, and they will approve the revised plans that have incorporated plan check comments provided by the town architect and the different departments involved in the approval process.

Sincerely,

Hema and Yogesh Jhamb
140 Arroyo Grande Way,
Los Gatos, CA 95032.

2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA RESIDENTIAL CODE
2019 CALIFORNIA ENERGY CODE
2019 CALIFORNIA GREEN BUILDING CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA MECHANICAL CODE

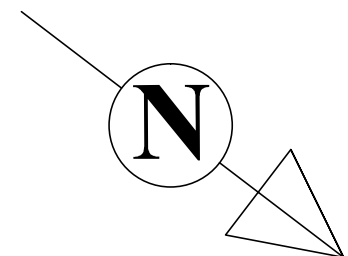
GENERAL NOTES

- DEMOLITION, BRACING AND SHORING NOTES

1. DEMOLITION WORK CONSISTS OF FURNISHING ALL MATERIAL, SUPPLIES, EQUIPMENT, TOOLS, TRANSPORTATION, AND PERFORMING ALL LABOR AND SERVICES NECESSARY FOR, REQUIRED IN CONNECTION WITH OR PROPERLY INCIDENTAL TO PERFORMING THE DEMOLITION DRILLING, SAWCUTTING, BRACING AND SHORING, FOR STRUCTURAL MEMBERS TO PREVENT THE STRUCTURE FROM BECOMING UNSAFE DURING DEMOLITION AS SHOWN ON THE ACCOMPANY DRAWINGS.
2. THE CONTRACTOR SHALL TAKE THE FOLLOWING PROTECTIVE MEASURES FOR DEMOLITION OF THE STRUCTURE:
 - A. PROVIDE, ERECT AND MAINTAIN LIGHTS, BARRIERS, WEATHER PROTECTION AND OTHER ITEMS AS REQUIRED FOR PROTECTION OF WORKMEN ENGAGE IN DEMOLITION OPERATION AND ADJACENT RESIDENCE OCCUPANTS.
 - B. DO NOT CLOSE OR OBSTRUCT STREETS OR SIDEWALKS WITHOUT PROPER PERMITS
 - C. PROTECT PRIVATE PROPERTY ADJACENT TO OR ON JOBSITE, INCLUDING VENTS, UTILITY LINES, SIDEWALKS, MAIL BOXES.
 - D. PROTECT AND MAINTAIN TEMPORARY PROTECTION OF EXISTING STRUCTURE DESIGNATED TO REMAIN WHERE DEMOLITION AND REMOVAL WORK IS BEING DONE.
3. CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT STRUCTURE AND THE SURROUNDING AREAS TO REMAIN.
4. SPECIAL CARE SHALL BE EXERCISED TO PREVENT DAMAGE TO EXISTING UNDERGROUND UTILITIES WHICH ARE TO REMAIN DURING EXECUTION OF THIS WORK. ANY DAMAGE SHALL BE REPAIRED TO NEW CONDITION BY THE CONTRACTOR AT NO COST TO THE OWNER.
5. REMOVE DEMOLISHED MATERIAL FROM SITE. CLEAN UP ALL WORK RELATED TO DEMOTION. LEAVING THE PROPERTY AND ADJACENT AREAS IN A CLEAN CONDITION.
6. THE STABILITY AND INTEGRITY OF THE EXISTING STRUCTURE DURING CONSTRUCTION SHALL BE MAINTAINED AT LEVELS GENERALLY ACCEPTABLE WITHIN THE CONSTRUCTION INDUSTRY BY THE USE OF BRACING, SHORING AND UNDERPINNING UNTIL THE PROPOSED STRUCTURE MODIFICATIONS ARE COMPLETED. IN NO CASE SHALL THE EXISTING STRUCTURE BE ALLOWED TO BECOME UNSAFE DURING CONSTRUCTION.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TEMPORARY LOADING CONDITIONS DURING CONSTRUCTION AND SHALL DESIGN AND PROVIDE TEMPORARY BRACING AND SHORING AS REQUIRED DURING CONSTRUCTION.

[illegible]

140 Arroyo Grande Way, Los Gatos, CA 95032


$$1/8'' = 1'-0''$$


DEMO EXISTING ONE-STORY HOME AND BUILD A NEW ONE-STORY HOME WITH
4 BEDROOMS & 4 BATHS

ASSESSOR'S PARCEL NO.:
ZONING: R-1B
ONE-STORY WOOD-FRAMED HOUSE WITH STONE & STUCCO FINISH
AND COMP. SHINGLE ROOF
OCCUPANCY GROUP: R3 & U
TYPE OF CONSTRUCTION: VB
BUILDING CODES: 2019 CBC & 2019 CRC
BUILDING HEIGHT: 23'-10.5" ABOVE GRADE
FIRE SPRINKLER: YES
YEAR BUILT: 1958
FIRE SPRINKLERS WILL BE PROVIDED UNDER A DEFERRED SUBMITTAL

LOT SIZE = 6425 SF.

EXISTING HOME
1ST FLOOR AREA = 1150 SF
GARAGE = 428 SF

NEW HOME
1ST FLOOR AREA = 2123 SF
GARAGE = 428 SF
(SEE FLOOR AREA CALCULATIONS ON SHEET A4)

FLOOR AREA RATIO CALCULATION (INCLUDING GARAGE):
FLOOR AREA RATIO (FAR) = $0.35 - (6,425-5)/250.20 = 0.3386$
ALLOWABLE FAR = $0.3386 \times 6425 = 2176$ SF
ACTUAL FAR = 2128 SF (LIVING SPACE, EXCLUDING GARAGE)

GARAGE FLOOR AREA RATIO CALCULATIONS:

$$\text{FLOOR AREA RATIO (FAR)} = 0.10 - (6,425-5)/25)0.70 = 0.09601$$

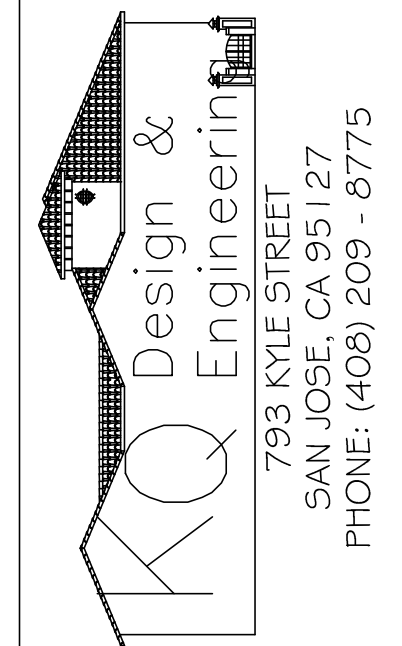
 ALLOWABLE FAR = 0.09601 x 6425 = 616.9 SF
 ACTUAL FAR = 428 SF

LOT COVERAGE CALCULATIONS:
LIVING SPACE FLOOR AREA: 2123 SF.
GARAGE FLOOR AREA: 428 SF.
PORCH AREA: 15 SF.
LOT COVERAGE: $(2123 + 428 + 15) / 6425 = 0.3993$ OR 39.93%

OWNER

YOGESH JHAMB
(408) 806-8553
DESIGNER & STRUCTURAL ENGINEER
KETLE
793 KYLE STREET, SAN JOSE, CA 95127
CELL : (408) 209 - 8775
EMAIL: KETLE1@YAHOO.COM

- A1 - SITE PLAN & PROJECT INFO
- A2 - EXISTING SITE PLAN & SITE PHOTOS
- A3.1 - EXISTING NEIGHBORHOOD SITE PLAN
- A3.2 - NEW NEIGHBORHOOD SITE PLAN
- A3.3 - STREETSCAPE FRONT ELEVATIONS
- A3.4 - FRONT ELEVATION WITH COLOR & EXTERIOR MATERIALS
- A4 - NEW 1ST FLOOR PLAN
- A5 - NEW ELEVATIONS
- A6 - NEW ROOF PLAN
- A7 - DRAINAGE PLAN
- A8 - SECTIONS
- A8.1 - EROSION CONTROL PLAN
- A8.2 - GRADING PLAN
- A8.3 - BUILD IT GREEN CHECKLIST
- A8.4 - UTILITY PLAN
- A8.5 - GROUND COVER PLAN
- S1 - SURVEY PLAN**

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New home for:
YOGESH JHAMB
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SITE PLAN

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VIEW #4



VIEW #5



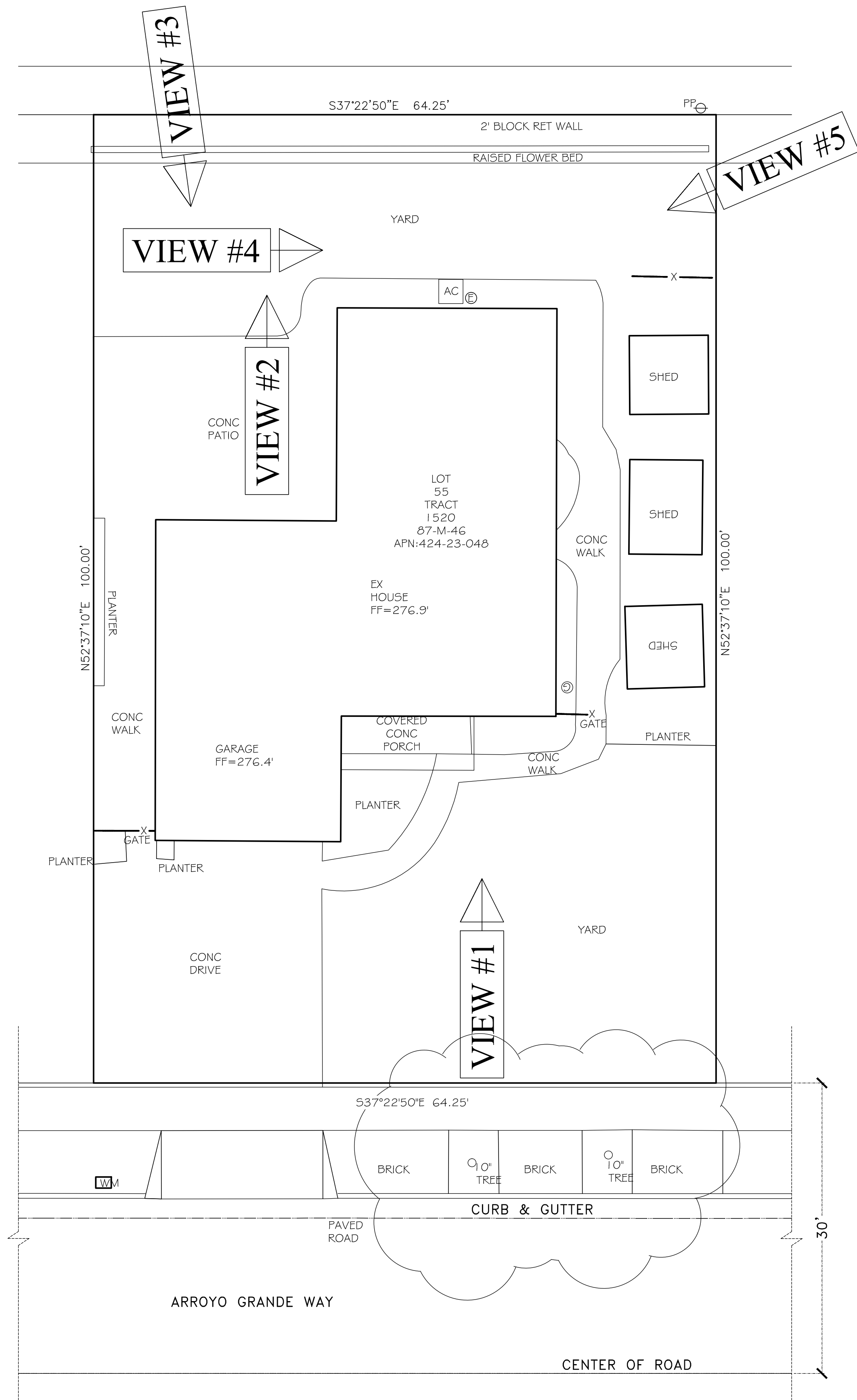
VIEW #1



VIEW #2

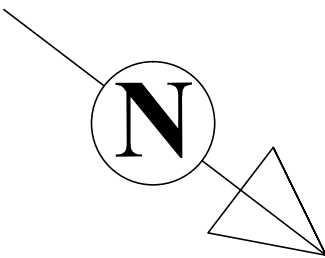


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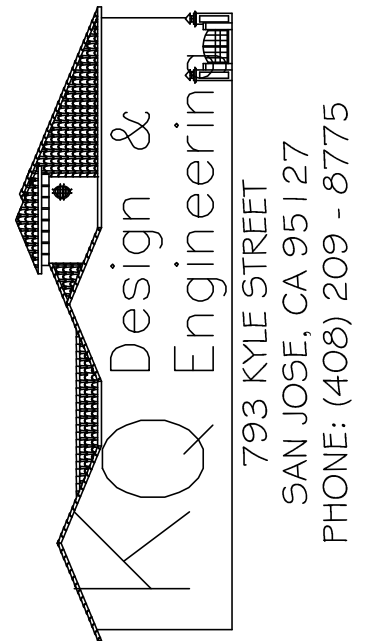


(E) SITE PLAN

1/8" = 1'-0"



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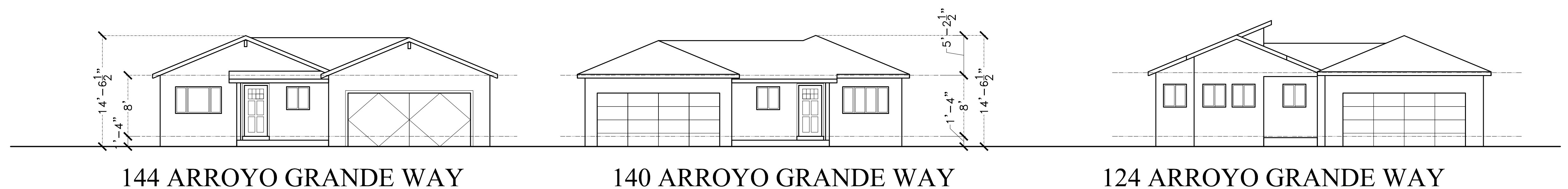
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EXISTING SITE PLAN & SITE PHOTOS

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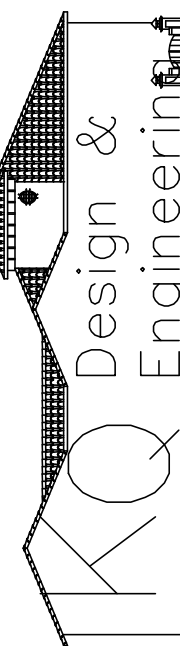


EXISTING NEIGHBORHOOD SITE PLAN
1/8" = 1'-0"



EXISTING NEIGHBORHOOD STREETSCAPE ELEVATION
1/8" = 1'-0"

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(E) NEIGHBORHOOD SITE PLAN

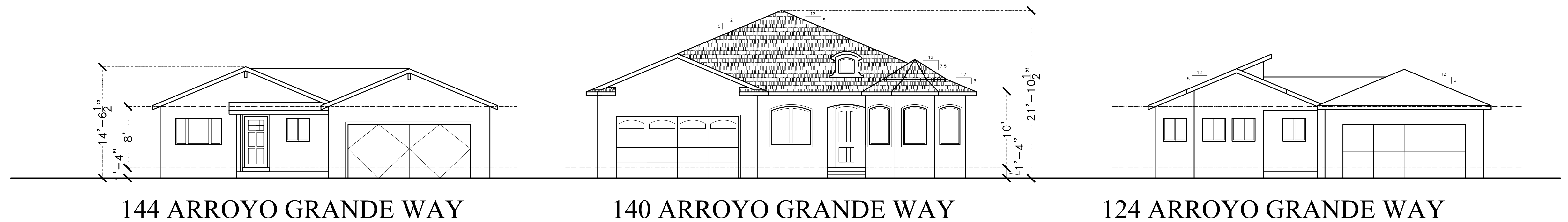
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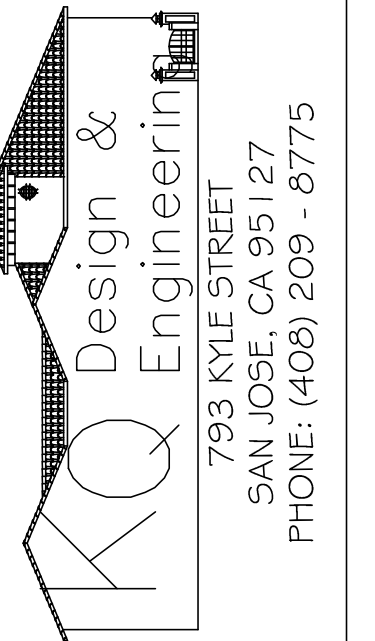


NEW NEIGHBORHOOD SITE PLAN
1/8" = 1'-0"



NEW NEIGHBORHOOD STREETSCAPE ELEVATION
1/8" = 1'-0"

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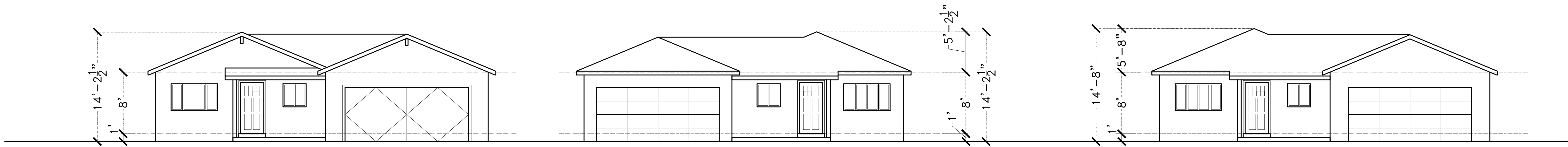
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NEW NEIGHBORHOOD SITE PLAN

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EXISTING STREET VIEW

1/8" = 1'-0"



NEW STREET VIEW

1/8" = 1'-0"

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STREETSCAPE FRONT ELEVATIONS

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OF SHEETS



FRONT ELEVATION

$$1/4'' = 1'-0''$$

Gra L Fr E e a

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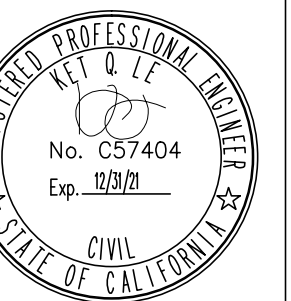
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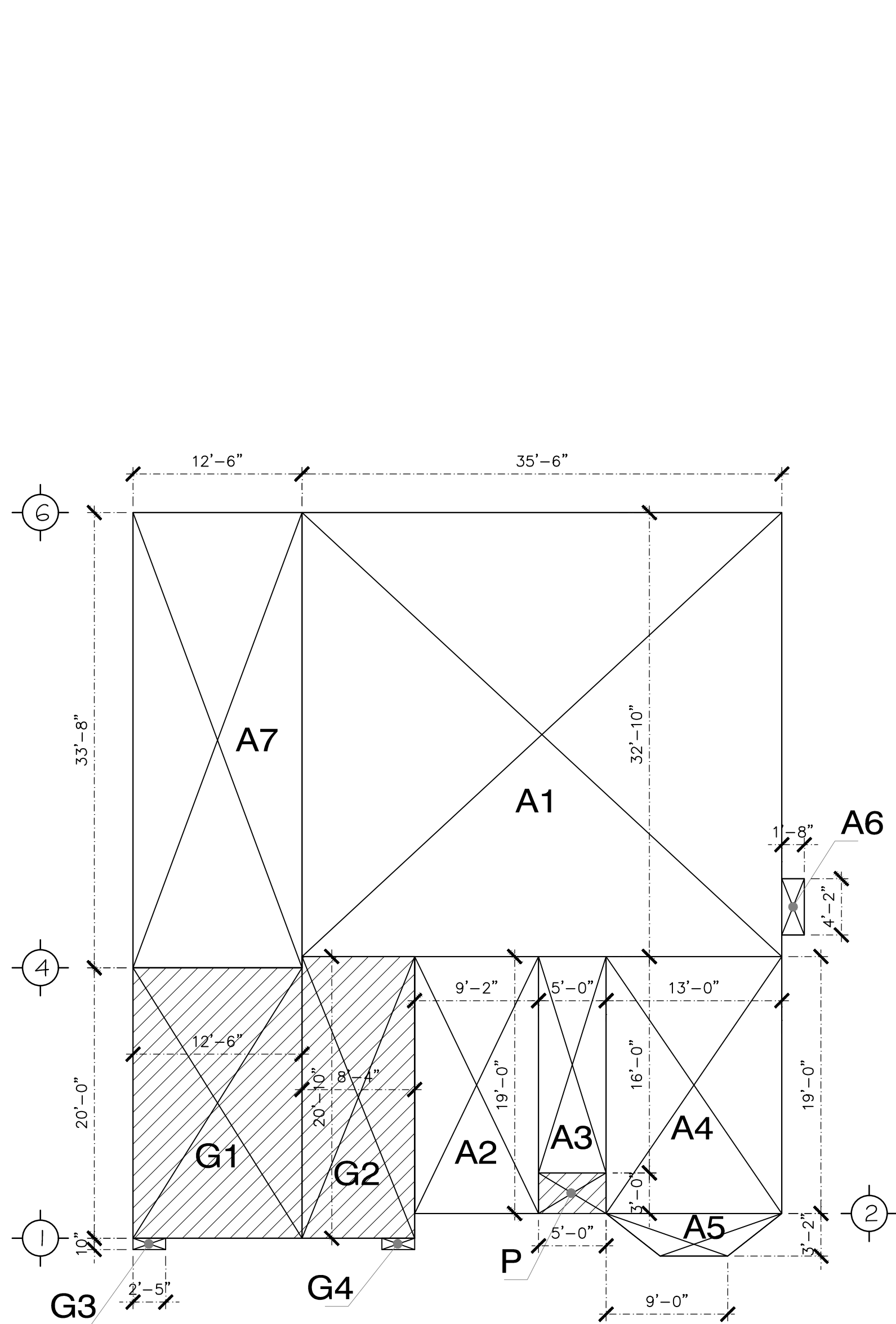
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FRONT ELEV. W/ COLOR & EXTERIOR MATERIALS

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A3.4

SHEETS



FLOOR AREA CALCULATIONS:

A1= (35'-06" X 32'-10") =	1165.58 SF
A2= (09'-02" X 19'-00") =	174.17 SF
A3= (05'-00" X 16'-00") =	80.00 SF
A4= (13'-00" X 19'-00") =	247.00 SF
A5= (09'-00" X 03'-02") =	28.41 SF
A6= (01'-08" X 04'-02") =	6.94 SF
A7= (12'-06" X 33'-08") =	420.83 SF
TOTAL=	2122.93 SF

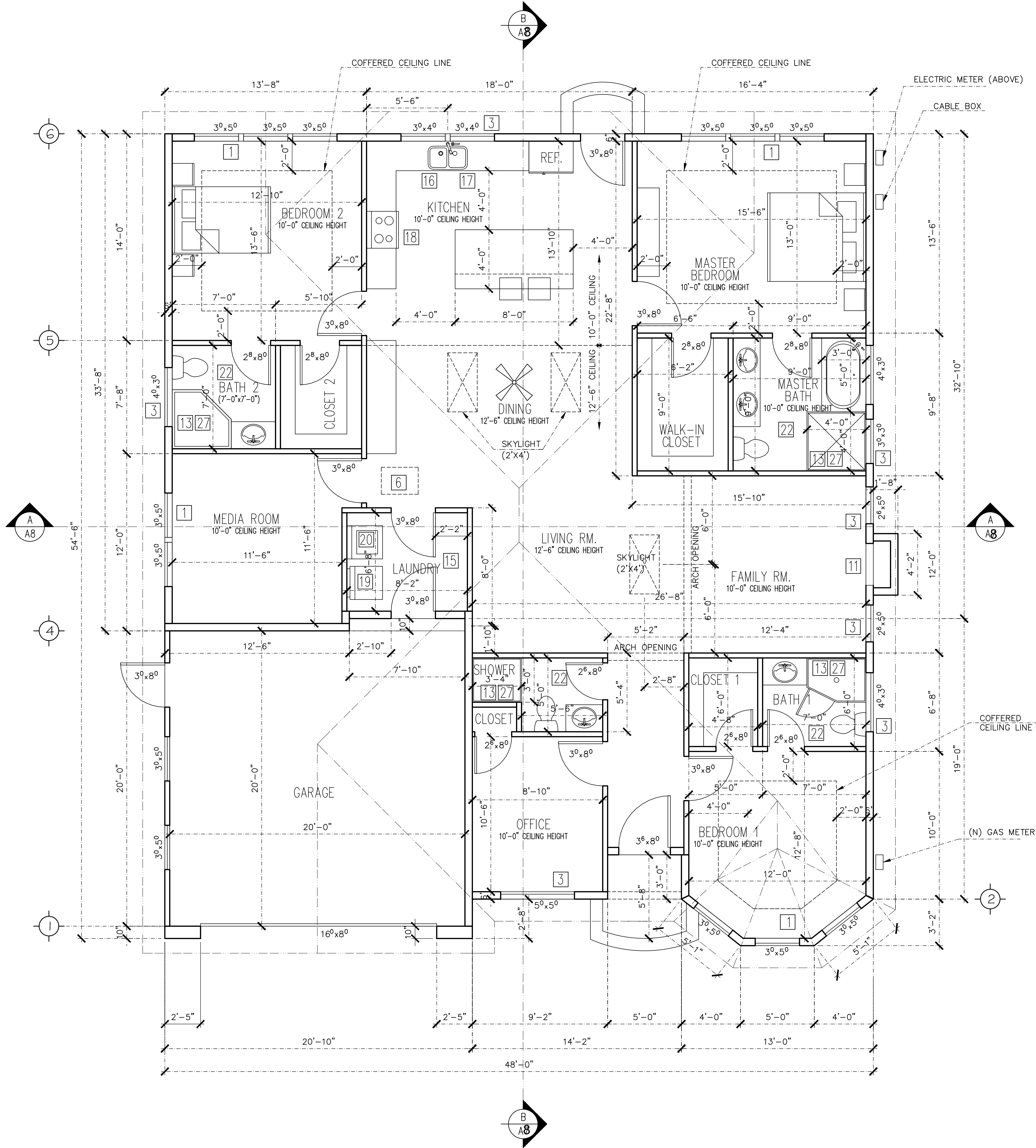
GARAGE AREA CALCULATIONS:

G1= (12'-06" X 20'-00") =	250.00 SF
G2= (08'-04" X 20'-10") =	173.61 SF
G3= (00'-10" X 02'-05") =	2.01 SF
G4= (00'-10" X 02'-05") =	2.01 SF
TOTAL=	427.63 SF

PORCH AREA CALCULATIONS:

P= (03'-00" X 05'-00") = 15.00 SF

OVERALL FOOTPRINT: 2122.93 + 427.63 + 15.00 = 2565.52 SF
LOT COVERAGE: 2565.52 / 6425 = 0.3993 OR 39.93%



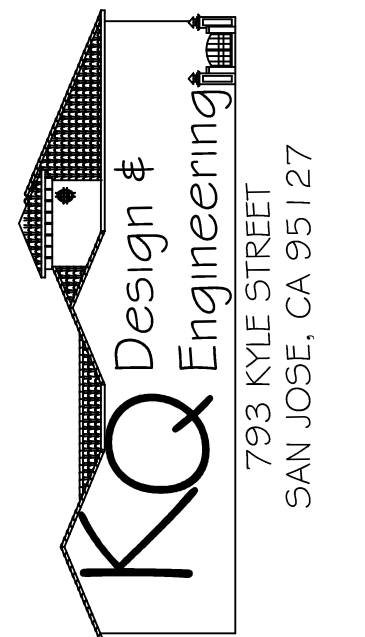
FLOOR PLAN
1/4" = 1'-0"

FLOOR PLAN KEYNOTES

- Bedroom window shall be an egress window to have a minimum net clear opening of 5.7 square feet, and 5.0 sf for grade floor openings minimum net clear opening height of 24 inches; and minimum net clear opening width of 20 inches, sill height not more than 44 inches above the floor. See detail 18/A9
- All window shall be sliding windows unless noted otherwise on plan. Style of window shall be selected by owner.
- Tempered safety glass required at these glazing locations per CBC 2406.3: ingress and egress doors, panels in sliding or swinging doors, doors and enclosure for hot tub, bathtub, showers, glazing in walls within 5'-0" of standing surface, glazing that is within 2'-0" of vertical edge of door and within 5'-0" of standing surface.
- Stair treads to be 10 inches minimum. Treads less than 11 inches require nosing. Nosing to be minimum 0.75 inches and maximum 1.25 inches. Stair risers to be 7.75 inches maximum. All stairs to be uniform in dimensions within 3/8 inch. Per section.
- 18 inch x 24 inch under-floor crawl space access opening, per CRC section 408.4 if under floor plumbing cleanout is installed, it must be located within 20'-0" of the access opening
- A readily accessible attic access, minimum 22 inch by 30 inch, located where at least 30 inches of clear headroom occurs and at attic space exceeding 30 sq. ft. per CRC R807.1.
- Width of landing at exterior door shall not be less than door opening width per R311.3
- Minimum 36 inch deep landing required at all exterior doors (landing shall not be more than 7.75 inches lower than threshold for in-swinging doors. R311.3.1. See detail 2/A9
- For the exterior entry door, maximum threshold shall be 1.5 inches from the finished floor to the landing, per section R311.3.1.
- All skylights shall be Velux skylights (ICC Evaluation Report # NER-216) or equal. Provide ICC report to inspector prior to installation.
- Heat-n-glo directed vent electric fireplace heater to be selected by owner. Electric fireplace shall UL listed or ICC approved. Provide manuf. specs to city inspector.
- Shower and tub/shower walls shall have a smooth, hard, non-absorbent surface over cement, fiber-cement or glass mat gypsum backer in compliance with ASTM C 1178, C 1288 or C1325 installed per manufacturer recommendations to a height not less than 6 feet above the floor per R307.2
- Water heater shall be seismically strapped to a wall, provide with 18" high platform, combustion air to outside, pressure relief valve to outside with drain. See detail 16/A9.
- F.A.U.: furnace in attic, see detail 2/A10. Combustion air from outside, vent to outside and provide setback thermostat.
- Dishwasher with drain to garbage disposal.
- Sink with garbage disposal.
- Cook top to be selected by owner. Vent to outside with backdraft damper.
- Washer space, provide cold & hot water supply, waste line and if on second floor, a pan with drain to exterior.
- Dryer space, provide vent to outside with smooth metal duct with backdraft damper.
- Provide 1/2 inch gypboard type 'x' on the garage side wall next to all living areas. Provide 5/8 type 'x' gypboard at ceiling if gypboard does not extend to roofing through the attic space. Table R302.6
- Toilet shall have 15 inches minimum from centerline of fixture to the adjacent wall or obstruction on each side. Minimum 30 inches is required for any similar fixtures such as a bidet. Per section 407.5 of 2019 CPC.
- Door from garage to kitchen area shall be a 1-3/8" thick solid wood door, solid or honeycomb core steel door, or 20 minute rated fire door. Doors shall be a self-latching and self-closing door per R302.5.1.
- Elements appliances which generate a glow, spark, or flame (such as water heater and furnace) shall be located a minimum of 18 inches above garage floor per CMC 307.1 and CPC 508.14.
- Ducts penetrating the walls or ceilings separating the dwelling unit from the garage shall be constructed of a minimum 26 gage sheet metal steel or other approved material and shall have no openings into the garage per R302.5.2.
- The maximum hot water temperature discharging from the bathtub, shower and whirlpool bathtub filler shall be limited to 120 degrees Fahrenheit. The water heater thermostat shall not be considered a control for meeting this provision. CPC 414.5 and 418.0.
- Control valves and showerheads shall be located on the sidewall of shower compartments or be otherwise arranged so that the showerhead does not discharge directly at the entrance to the compartment and the bather can adjust the valves prior to stepping into the shower spray per section 408.9 of 2019 CPC
- shower shall have a minimum area of 1024 sq. inches and a minimum finish dimension of 30 inches in any directions. an outward swinging 22 inch minimum clear door shall be provided.

GENERAL NOTES FOR CONTRACTOR.

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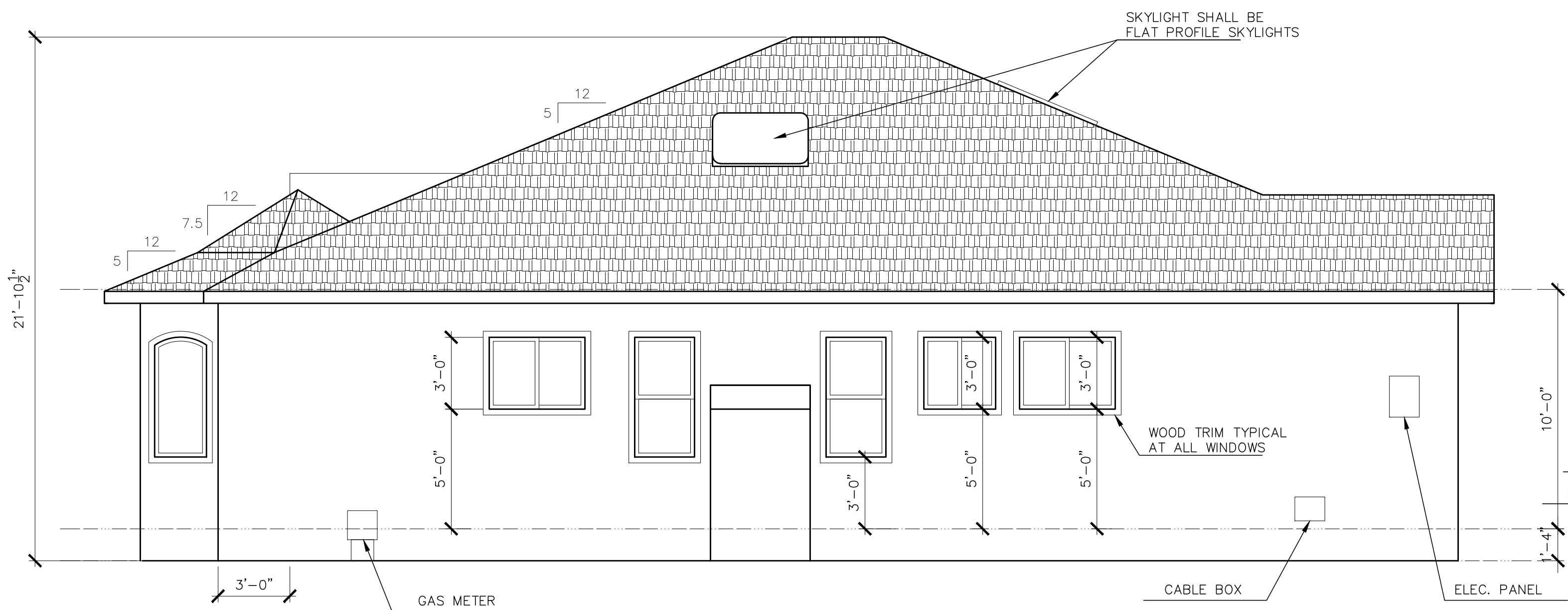
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FLOOR PLAN

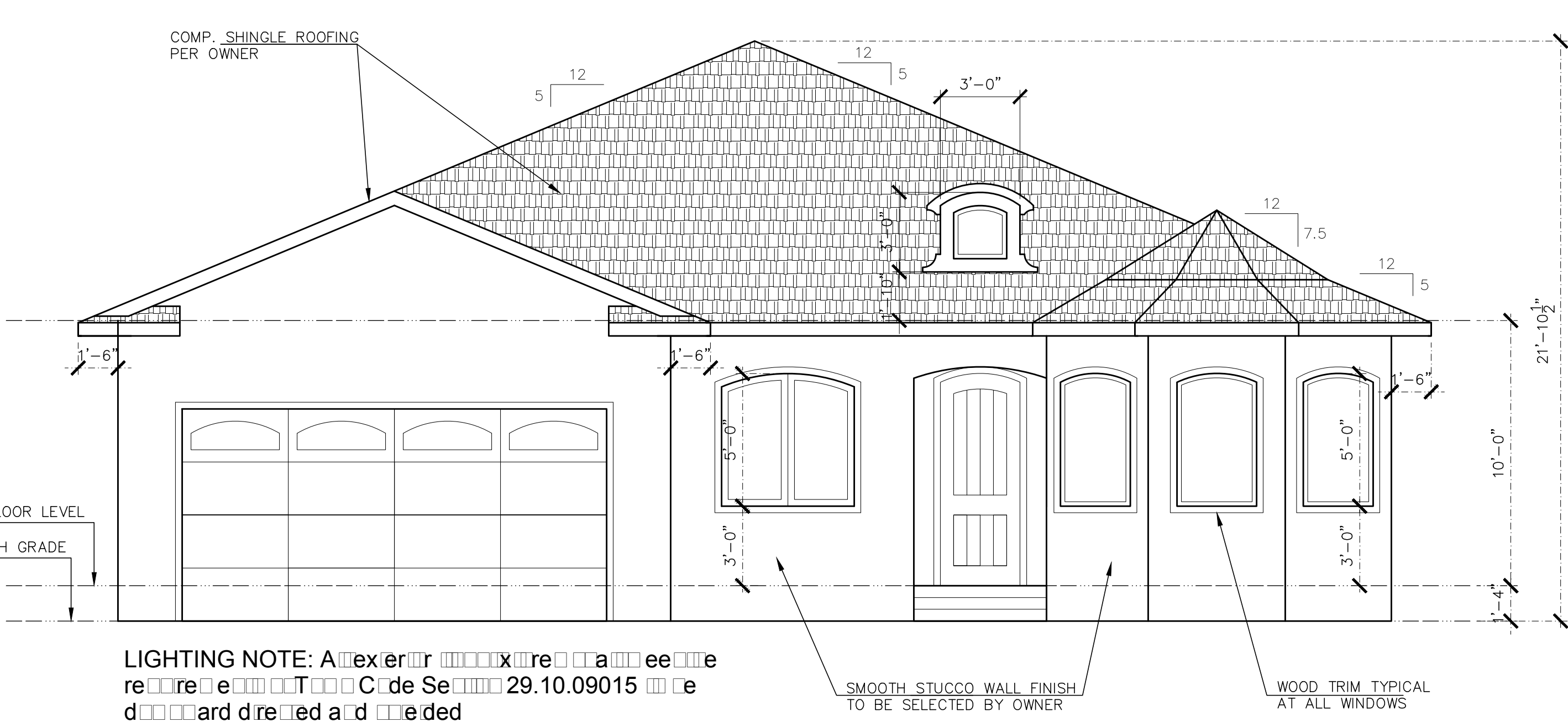
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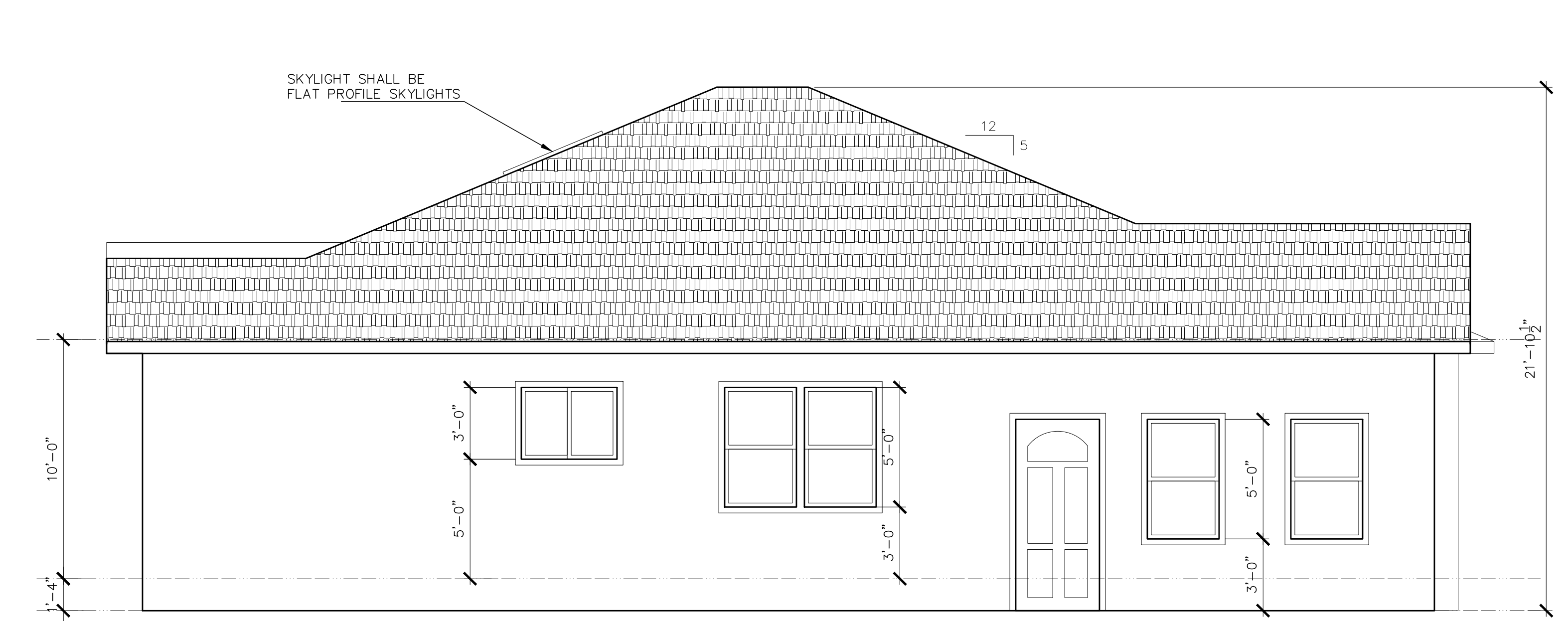
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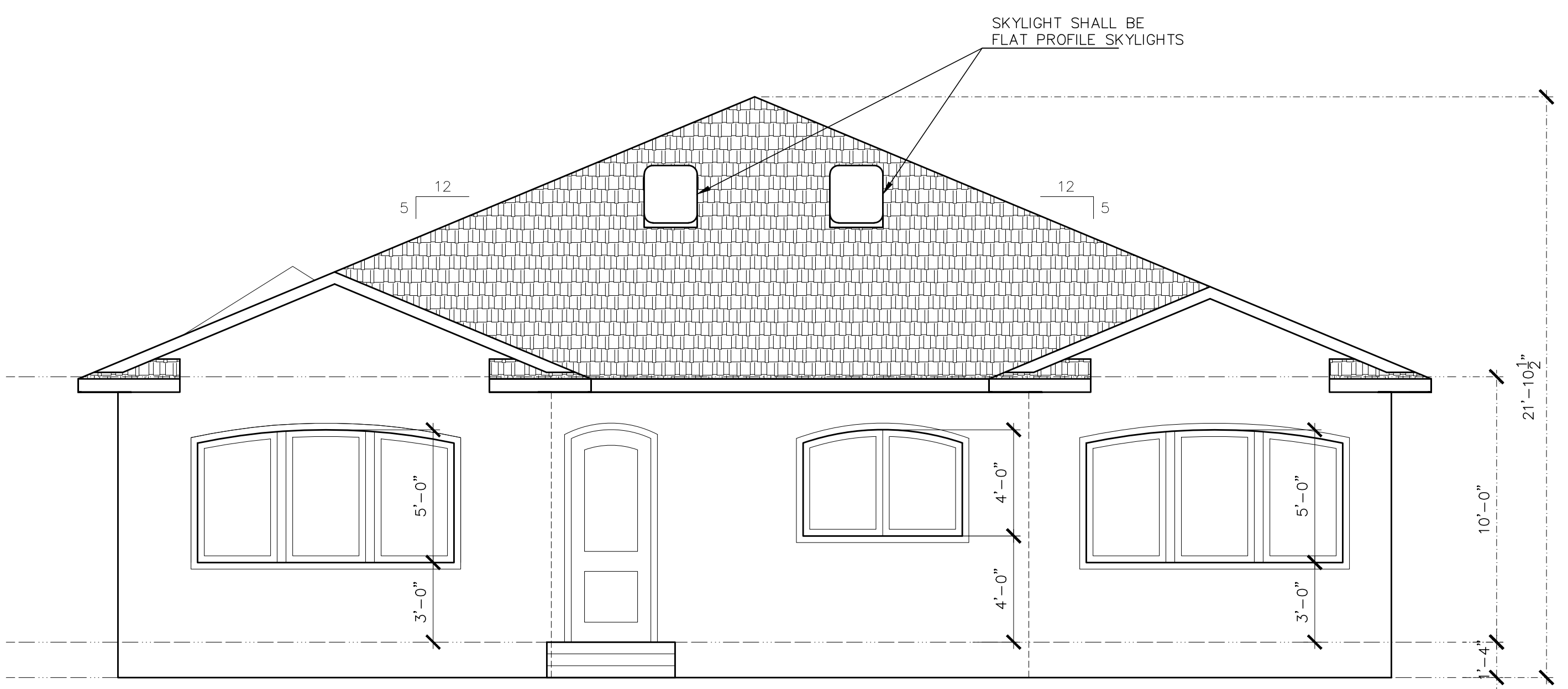
RIGHT SIDE ELEVATION
1/4" = 1'-0"



FRONT ELEVATION
1/4" = 1'-0"



LEFT SIDE ELEVATION
1/4" = 1'-0"



REAR ELEVATION
1/4" = 1'-0"

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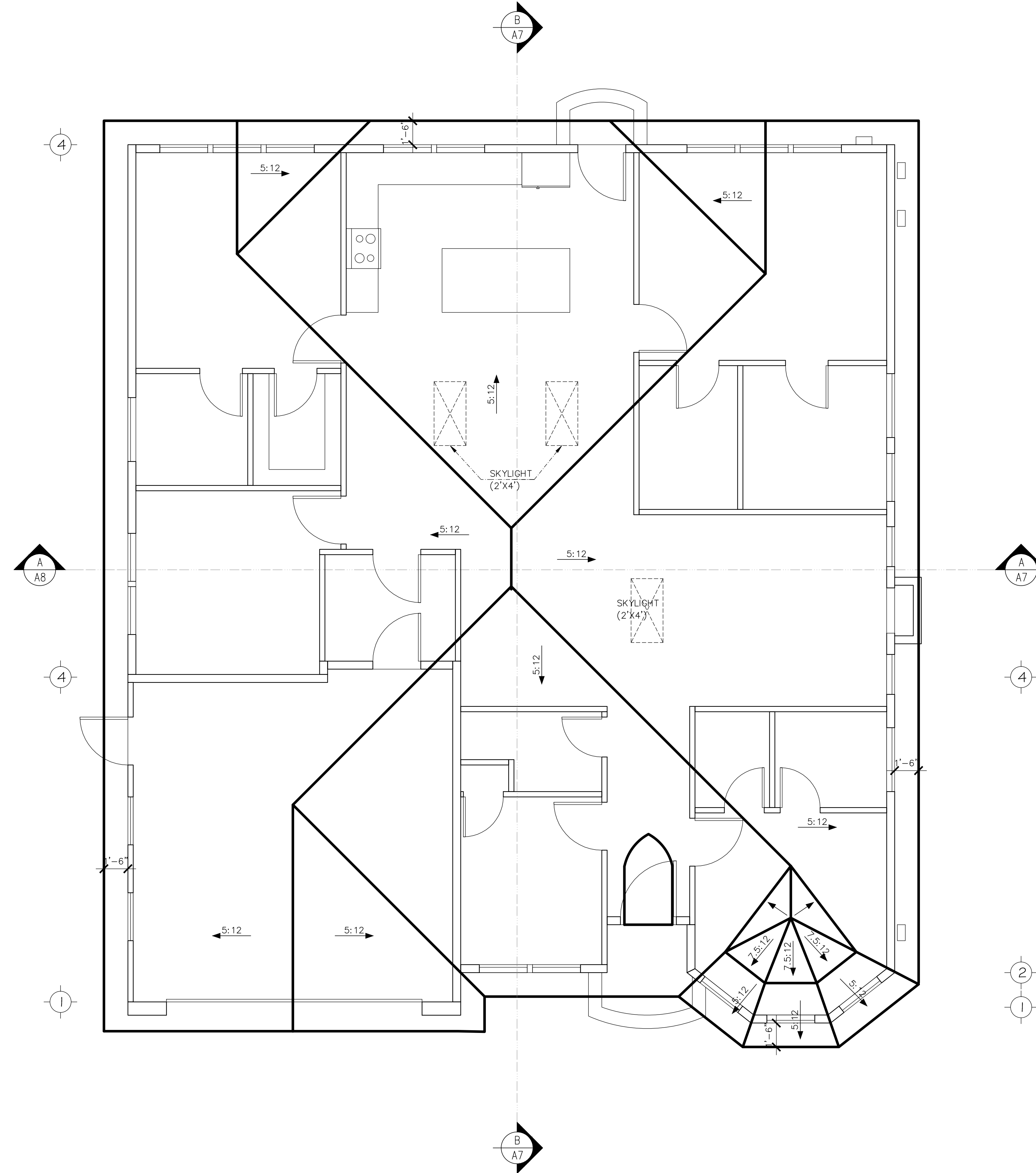
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ELEVATIONS

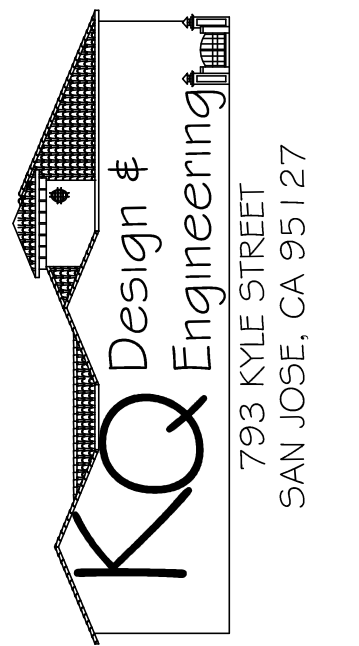
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ROOF PLAN

1/4" = 1'-0"

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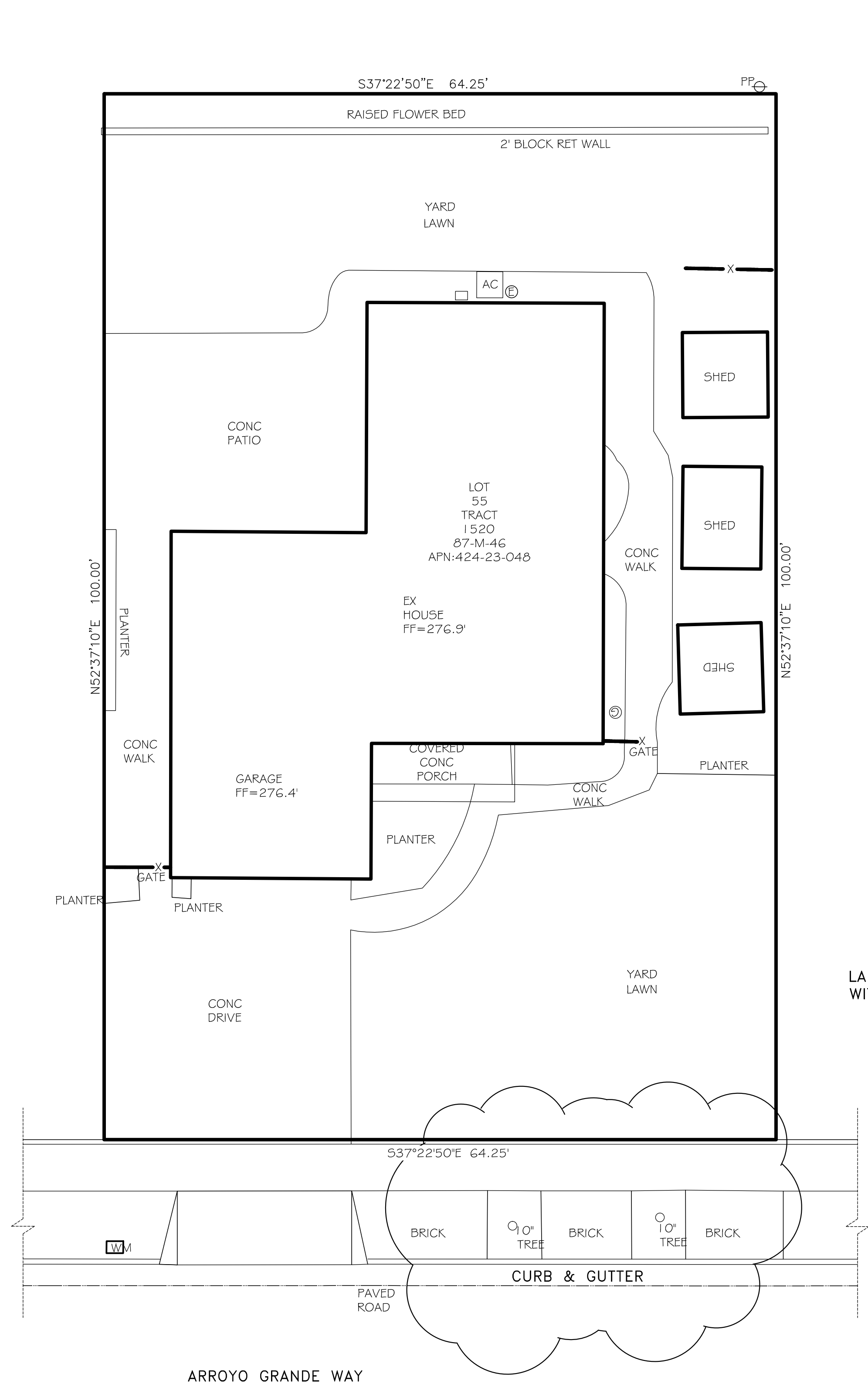
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ROOF PLAN

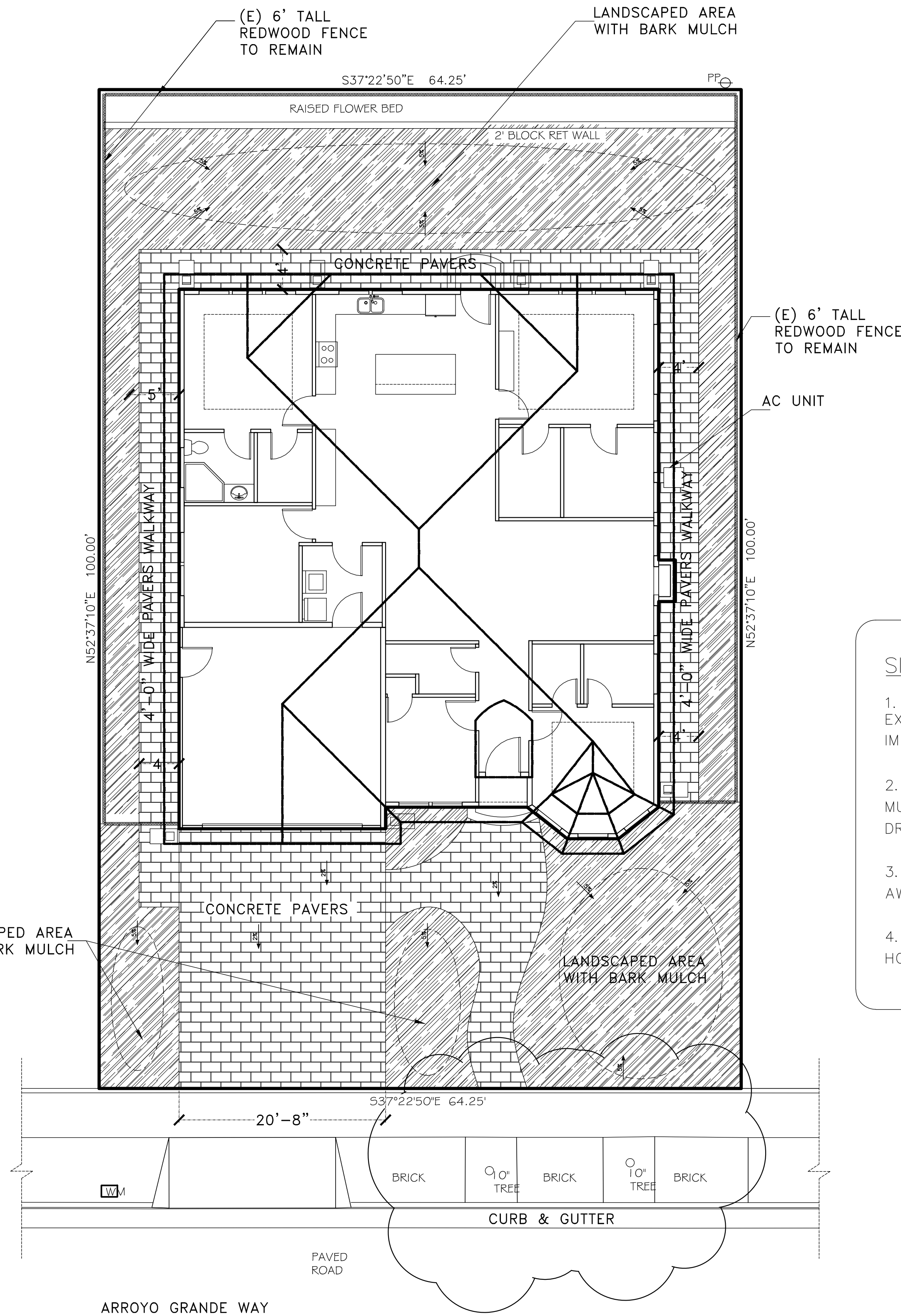
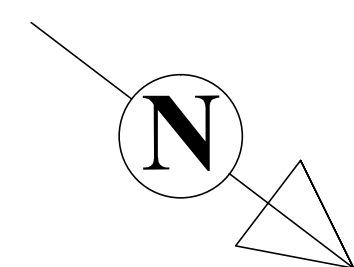
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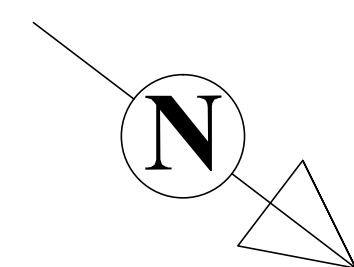
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(E) DRAINAGE PLAN
1/8" = 1'-0"



(N) DRAINAGE PLAN
1/8" = 1'-0"



LANDSCAPE LEGEND:

- DENOTES LAWN AREA
- DENOTES CONCRETE PAVERS
- DENOTES 6'-0" TALL REDWOOD FENCE
- DENOTES CONCRETE AREA
- DENOTES LANDSCAPED AREA WITH BARK MULCH
- DENOTES LANDSCAPED AREA WITH GRAVEL

SYMBOL LEGEND:

- DENOTES A DOWNSPOUT DOWN TO A SPLASH BLOCK
- DOWNSPOUT
- SPLASH BLOCK TO DIRECT WATER AWAY FROM HOUSE
- GRADE
- HOUSE

- SITE DRAINAGE NOTE:**
1. THE CONTRACTOR SHALL NOT ALTER PRE-EXISTING DRAINAGE PATTERNS EXISTING FROM ADJACENT PROPERTIES IN A MANNER THAT NEGATIVELY IMPACTS THOSE PROPERTIES.
 2. ROOF WATER DOWN SPOUTS DISCHARGING TO SPLASH BLOCKS MUST BE PROVIDED TO CARRY RAIN WATER AWAY FROM FOUNDATION. DRAINAGE CAN NOT DRAIN INTO ADJACENT PROPERTIES.
 3. THE SITE SHALL BE FINE GRADED TO PROVIDED A MINIMUM OF 5% SLOPE AWAY FROM HOUSE FOR THE FIRST 10 FT., FOR PERVIOUS SURFACE.
 4. FOR IMPERVIOUS SURFACE, GRADE TO BE 2% MINIMUM AWAY FROM HOUSE FOR THE FIRST 10 FT.

REVISIONS	BY

Design & Engineering

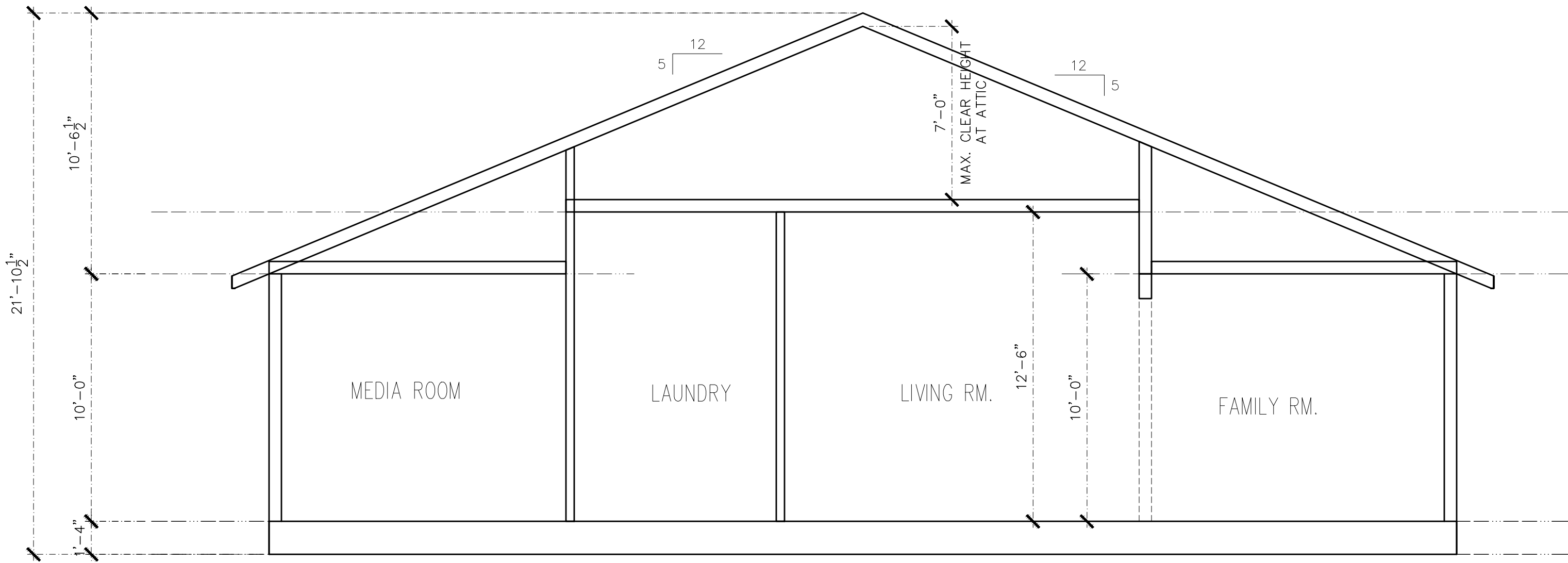
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REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT
No. C57404
Exp. 03/07
CIVIL
STATE OF CALIFORNIA

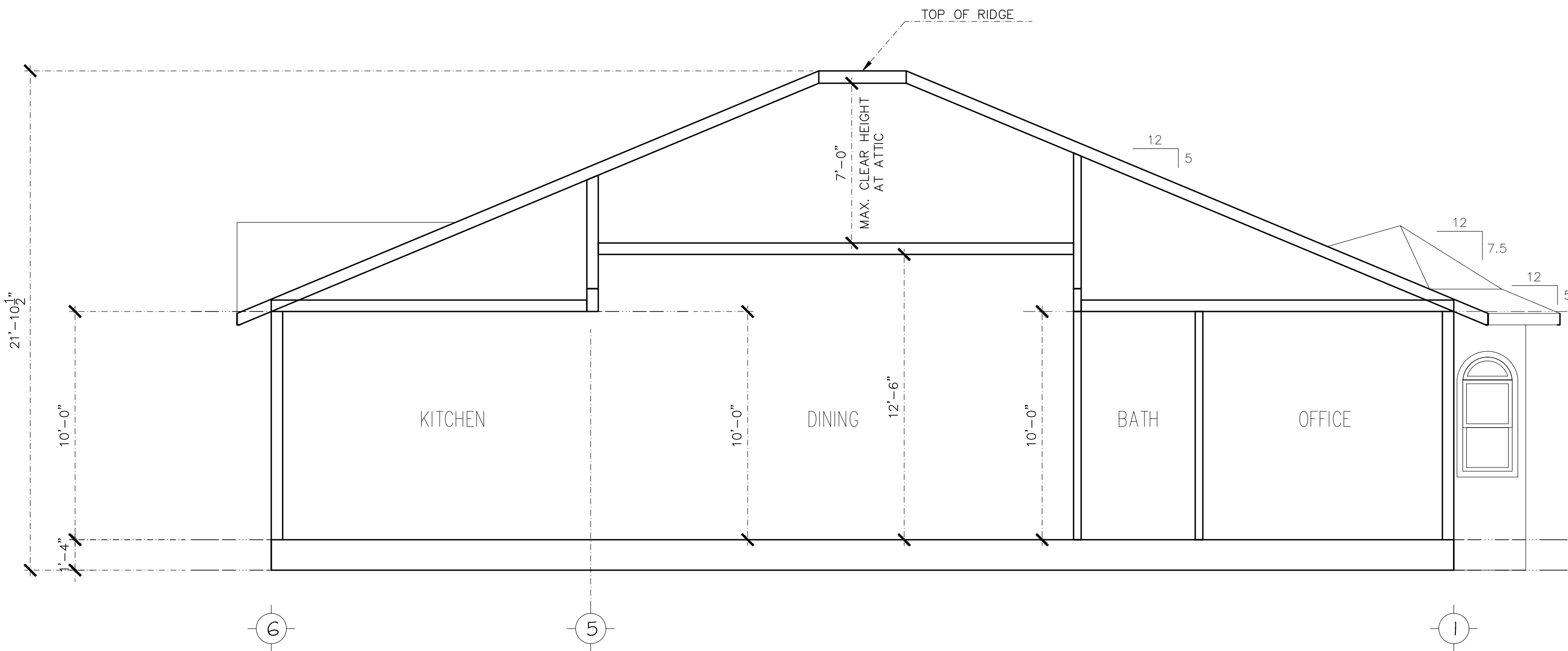
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DRAINAGE PLAN

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SECTION A-A
1/4" = 1'-0"



SECTION B-B
1/4" = 1'-0"



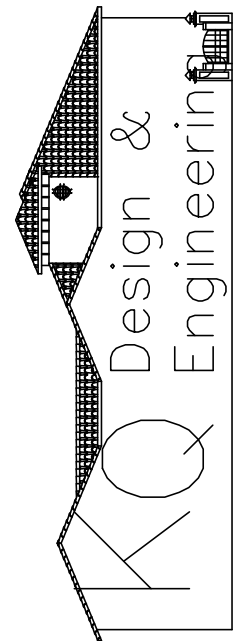
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SECTIONS

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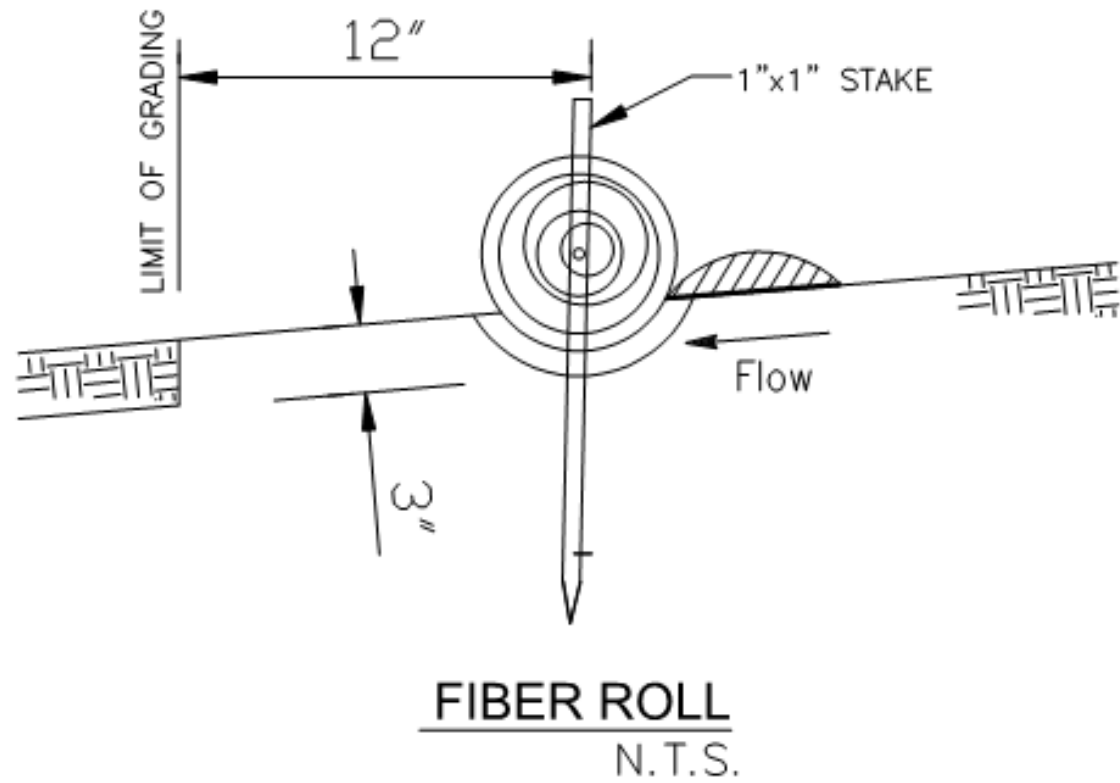
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EROSION CONTROL PLAN

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FIBER ROLL NOTES

1. Place fiber roll in key trench 3" deep and place excavated soil on uphill or flow side of the roll.
2. On slopes and hillsides, fiber rolls shall be abutted at the ends and not overlapped. Place alternate stakes on both sides of the roll, every 6'.
3. Install fiber roll 12" from limit of grading

EROSION AND SEDIMENT CONTROL NOTES AND MEASURES

1. The facilities shown on this Plan are designed to control Erosion and sediment during the rainy season, October 1st to April 30. Facilities are to be operable prior to October 1 of any year. Grading operations during the rainy season, which leave denuded slopes shall be protected with erosion control measures immediately following grading on the slopes.
2. This plan covers only the first winter following grading with assumed site conditions as shown on the Erosion Control Plan. Prior to September 15, the completion of site improvement shall be evaluated and revisions made to this plan as necessary with the approval of the city engineer. Plans are to be resubmitted for city approval prior to September 1 of each subsequent year until site improvements are accepted by the city.
3. Construction entrances shall be installed prior to commencement of grading. All construction traffic entering onto the paved roads must cross the stabilized construction entranceways.
4. Contractor shall maintain stabilized entrance at each vehicle access point to existing paved streets. Any mud or debris tracked onto public streets shall be removed daily and as required by the city.
5. If hydroseeding is not used or is not effectively 10/10, then other immediate methods shall be implemented, such as Erosion control blankets, or a three-step application of: 1) seed, mulch, fertilizer 2) blown straw 3) tackifier and mulch.
6. Inlet protection shall be installed at open inlets to prevent sediment from entering the storm drain system. Inlets not used in conjunction with erosion control are to be blocked to prevent entry of sediment.
7. Lots with houses under construction will not be hydroseeded Erosion protection for each lot with a house under construction shall confirm to the Typical Lot Erosion Control Detail shown on this sheet.
8. This erosion and sediment control plan may not cover all the situations that may arise during construction due to unanticipated field conditions. Variations and additions may be made to this plan in the field. Notify the city representative of any field changes.
9. This plan is intended to be used for interim erosion and sediment control only and is not to be used for final elevations or permanent improvements.
10. Contractor shall be responsible for monitoring erosion and sediment control prior, during, and after storm events.

11. Reasonable care shall be taken when hauling any earth, sand, gravel, stone, debris, paper or any other substance over any public street, alley or other public place. Should any blow, spill, or track over and upon said public or adjacent private property, immediately remedy shall occur.
12. Sanitary facilities shall be maintained on the site.
10. During the rainy season, all paved areas shall be kept clear of earth material and debris. The site shall be maintained so as to minimize sediment laden runoff to any storm drainage systems, including existing drainage swales and water courses.
13. Construction operations shall be carried out in such a manner that erosion and water pollution will be minimized. State and local laws concerning pollution abatement shall be complied with.
14. Contractors shall provide dust control as required by the appropriate federal, state, and local agency requirements.
13. With the approval of the city inspector, erosion and sediment controls maybe removed after areas above them have been stabilized.

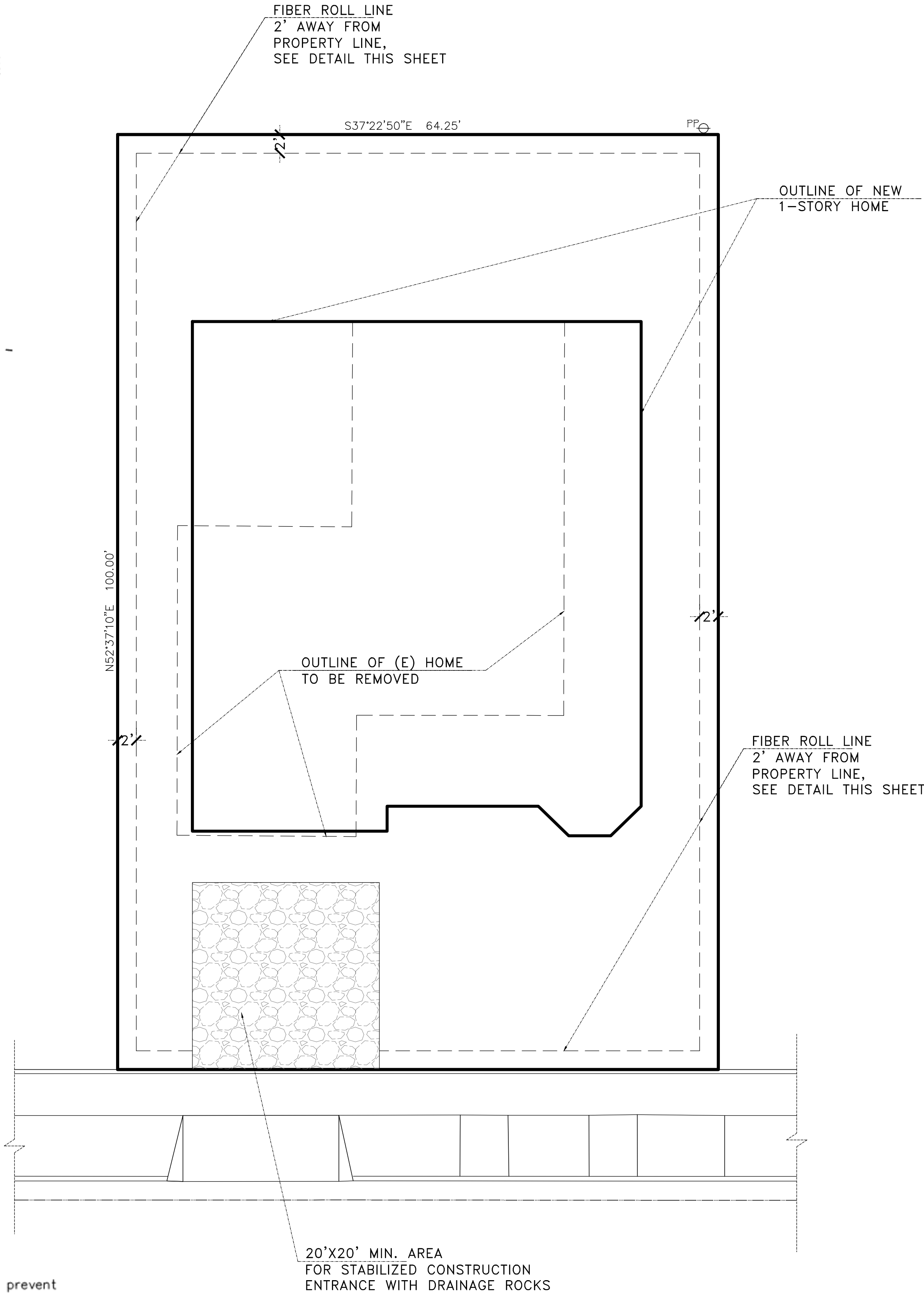
MAINTENANCE NOTES

1. Maintenance is to be performed as follows:
 - A. Repair damages caused by soil erosion or construction at the end of each working day.
 - B. Swales shall be inspected periodically and maintained as needed.
 - C. Sediment traps, berms, and swales are to be inspected after each storm and repairs made as needed.
 - D. Sediment shall be removed and sediment traps restored to its original dimensions when sediment has accumulated to a depth of one foot.
 - E. Sediment removed from trap shall be deposited in a suitable area and in such a manner that it will not erode.
 - F. Rills and gullies must be repaired.
2. All existing drainage inlets on St. George Lane within the limit of the project , shall be protected with sand bags during construction. See detail. Sand bag inlet protection shall be cleaned out whenever sediment depth is one half the height of one sand bag.
3. Existing concrete ditch sediment trap shall be cleaned out routinely during construction.

Maintenance

- The entrance shall be maintained in a condition that will prevent tracking or flowing sediment onto public rights-of-way. This may require periodic top dressing with additional stone as conditions demand, and repair and/or clean out any measures used to trap sediment.
- All sediment spilled, dropped, washed, or tracked onto public rights-of-way shall be removed immediately.
- When necessary, wheels shall be cleaned to remove sediment prior to entrance onto public rights-of-way. This shall be done at an area stabilized with crushed stone, which drains into an approved sediment trap or sediment basin.

**STABILIZED CONSTRUCTION ENTRANCE
(TO BE MAINTAINED)**



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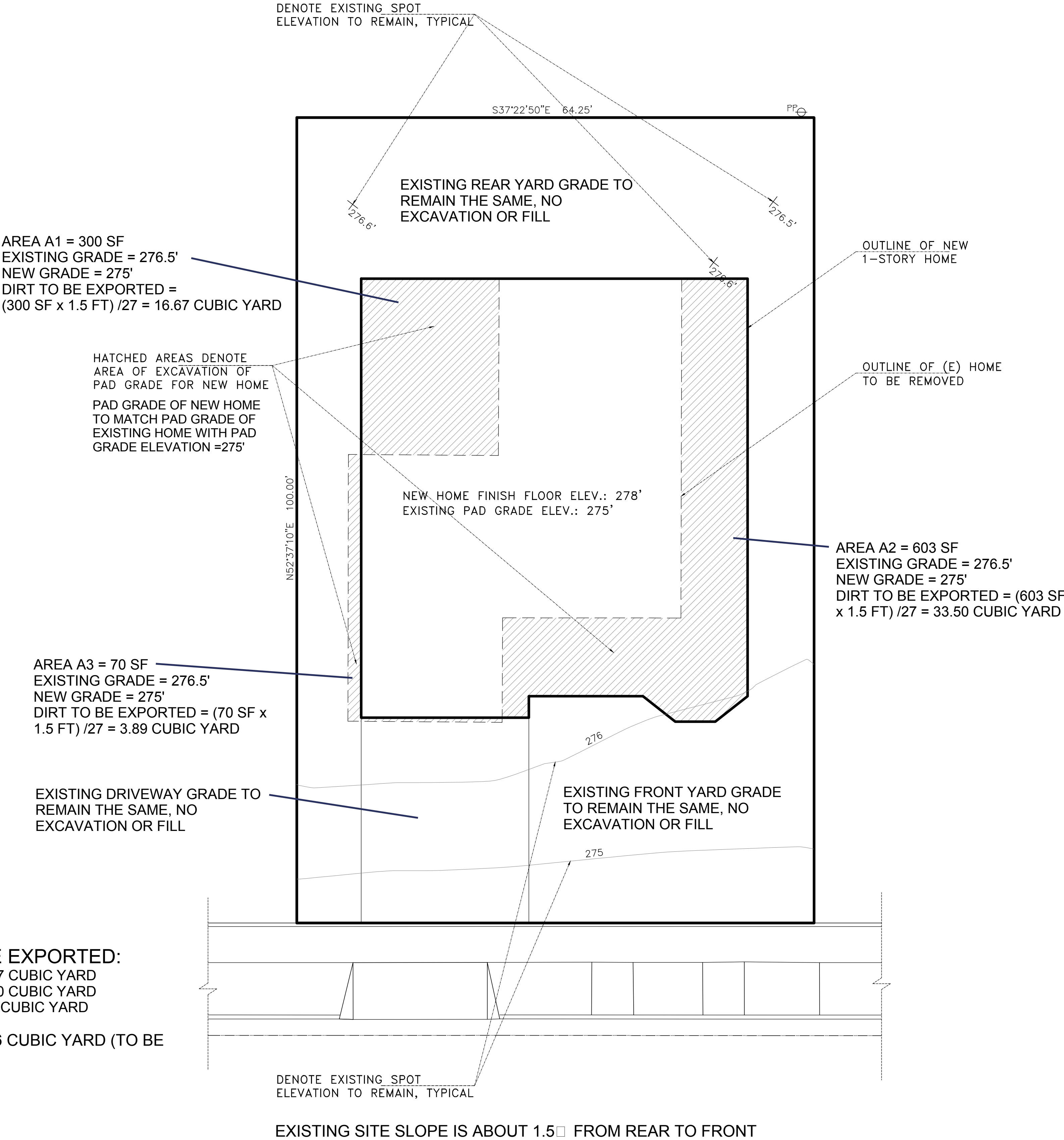
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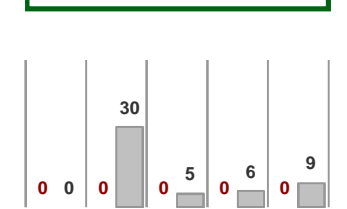
New home for:
YOGESH JHAMB
 140 Arroyo Grande Way
 Los Gatos, CA 95032
GRADING PLAN

DRAWN
CHECKED
DATE
SCALE
JOB NO.
SHEET
A8.2
OF
SHEETS



GreenPoint Rated Checklist: Single Family

The GreenPoint Rated Checklist is a tool to help you understand the GreenPoint Rated program. A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rated Professional. The GreenPoint Rated Checklist is a tool to help you understand the GreenPoint Rated program. A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rated Professional. The GreenPoint Rated Checklist is a tool to help you understand the GreenPoint Rated program. A home is only GreenPoint Rated if all features are verified by a Certified GreenPoint Rated Professional.



Single Family New Home 4.0 / 2008 Title 24

Enter Project Name

A. SITE		Points Achieve	Community	Energy	IAQ/Health	Resources	Water	Notes
1. Protect Topsoil and Minimize Disruption of Existing Plants & Trees		0	1			1		
2. Diver/Recycle Job Site Construction Waste (Including Green Waste and Existing Structures)		0				1		
3. Use Recycled Content Aggregate (Minimum 25%)		0				1		
4. Cool Site: Reduce Heat Island Effect On Site		0	1			1		
5. Construction Environmental Quality Management Plan, Dust Sealing, and Pre-Occupancy Flush-Out		0		2				
Total Points Achieved Site = 12		0						
B. FOUNDATION		Points Achieve	Community	Energy	IAQ/Health	Resources	Water	Notes
1. Replace Portland Cement in Concrete with Recycled Fly Ash and/or Slag (Minimum 20%)		0				2		
2. Use Frost-Protected Shallow Foundation in Cold Areas (CEC Climate Zone 16)		0				2		
3. Use Radon Resistant Construction		0			2			
Total Points Achieved Foundation = 4		0			2			

Build It Green

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Enter Project Name

C. LANDSCAPE		Points Achieve	Community	Energy	IAQ/Health	Resources	Water	Notes
1. Group Plants by Water Needs (Hydrozoning)		0				2		
2. Mulch All Planting Beds to the Greater of 3 Inches or Local Water Ordinance Requirement		0				2		
3. Construct Resource-Efficient Landscapes		0				1		
4. Minimize Turf in Landscape Installed by Builder		0				2		
5. Plant Shade Trees		0	1	1				
6. Install High-Efficiency Irrigation Systems		0				2		
7. Incorporate Two Inches of Compost in the Top 6 to 12 Inches of Soil		0				3		
8. Rain Water Harvesting System		0				1		
9. Irrigation System Uses Recycled Wastewater		0				1		
10. Submerging for Landscape Irrigation		0				1		
11. Design Landscape to Meet Water Budget		0				1		
Total Points Achieved Landscape = 12		0						

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Enter Project Name

D. STRUCTURAL FRAME & BUILDING ENVELOPE		Points Achieve	Community	Energy	IAQ/Health	Resources	Water	Notes
1. Apply Optimal Value Engineering		0				1		
2. Construction Material Efficiencies		0				2		
3. Use Engineered Lumber		0				1		
4. Insulated Headers		0				1		
5. Use FSC-Certified Wood		0				1		
6. Use Solid Wall Systems (Includes SIPs, ICFs, & Any Non-Stick Frame Assembly)		0				1		
7. Energy Heels on Roof Trusses		0				1		
8. Install Overhangs and Gutters		0				1		
9. Reduce Pollution Entering the Home from the Garage		0				1		
Total Points Achieved Structural Frame and Building Envelope = 39		0						

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Enter Project Name

E. EXTERIOR		Points Achieve	Community	Energy	IAQ/Health	Resources	Water	Notes
1. Use Environmentally Preferable Decking		0				2		
2. Flashing Installation Techniques Specified and Third-Party Verified		0				1		
3. Install a Rain Screen Wall System		0				2		
4. Use Durable and Non-Combustible Siding Materials		0				2		
5. Use Durable and Fire Resistant Roofing Materials or Assembly		0				2		
Total Points Achieved Exterior = 8		0						
F. INSULATION		Points Achieve	Community	Energy	IAQ/Health	Resources	Water	Notes
1. Install Insulation with 75% Recycled Content		0				1		
2. Water Efficient Fixtures		0				3		
3. Install High Efficiency Toilets (Dual-Flush or 5/28 Gallons Per Flush (gpf))		0				2		
Total Points Achieved Plumbing = 3		0						
G. PLUMBING		Points Achieve	Community	Energy	IAQ/Health	Resources	Water	Notes
1. Distribute Domestic Hot Water Efficiently (Max. 5 points, G1a is a Prerequisite for G1b-e)		0				1		
2. Water Efficient Fixtures		0				3		
3. Install High Efficiency Toilets (Dual-Flush or 5/28 Gallons Per Flush (gpf))		0				2		
Total Points Achieved Heating & Air Conditioning = 12		0						
H. HEATING, VENTILATION & AIR CONDITIONING		Points Achieve	Community	Energy	IAQ/Health	Resources	Water	Notes
1. Properly Design HVAC System and Perform Diagnostic Testing		0		4				
2. Install Sealed Combustion Units		0		1				
3. Install High Performing Zoned Hydronic Radiant Heating		0		1				
Total Points Achieved Heating, Ventilation and Air Conditioning = 27		0						

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Enter Project Name

I. RENEWABLE ENERGY		Points Achieve	Community	Energy	IAQ/Health	Resources	Water	Notes
1. Pre-Plumb for Solar Water Heating		0				1		
2. Install Wiring Conduit for Future Photovoltaic Installation & Provide 200 ft of South-Facing Roof		0				1		
3. Offset Energy Consumption with Onsite Renewable Generation (Solar PV, Solar Thermal, Wind)		0		25				
Total Points Achieved Renewable Energy = 27		0						

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Enter Project Name

J. BUILDING PERFORMANCE		Points Achieve	Community	Energy	IAQ/Health	Resources	Water	Notes
1. Building Envelope Diagnostic Evaluations		0				1		
2. Required: Building Performance Exceeds Title 24 (Minimum 15%)		0		230				
3. Design and Build Near Zero Energy Homes		0		6				
4. Obtain EPA Indoor airPlus Certification		0		2				
5. Title 24 Prepared and Signed by a CABEQ Certified Energy Plans Examiner (CEPE)		0		1				
6. Participate in Utility Program with Third Party Plan Review		0		1				
7. Reduce Energy Consumption		0		1				
Total Points Achieved Building Performance = 45		0						
K. FINISHES		Points Achieve	Community	Energy	IAQ/Health	Resources	Water	Notes
1. Design Entrways to Reduce Tracked-in Contaminants		0				1		
2. Use Low-VOC or Zero-VOC Paint (Maximum 3 Points)		0				1		
3. Use Low-VOC Coatings that Meet SCAQMD Rule 1113		0				2		
4. Use Low-VOC Caulks, Construction Adhesives and Sealants that Meet SCAQMD Rule 110		0				2		
5. Use Recycled-Content Paint		0				1		
Total Points Achieved Finishes = 5		0						

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Enter Project Name

L. FLOORING		Points Achieve	Community	Energy	IAQ/Health	Resources	Water	Notes
1. Use Environmentally Preferable Flooring (Minimum 15% Floor Area)		0				4		
2. Thermal Mass Floors (Minimum 50%)		0		1				
3. Low Emitting Flooring (Section 01350, CRI Green Label Plus, Floorscore)		0				3		
Total Points Achieved Flooring = 8		0						
M. APPLIANCES AND LIGHTING		Points Achieve	Community	Energy	IAQ/Health	Resources	Water	Notes
1. Install ENERGY STAR Dishwasher (Must Meet Current Specifications)		0		1		1		
2. Install ENERGY STAR Clothes Washer		0		1		2		
3. Install ENERGY STAR Refrigerator		0		1		2		
Total Points Achieved Appliances and Lighting = 6		0						

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Single Family Checklist
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N. OTHER		Points Achieve	Community	Energy	IAQ/Health	Resources	Water	Notes
1. Required: Incorporate GreenPoint Rated Checklist in Blueprints		0				1		
2. Pre-Construction Kick-Off Meeting with Rater and Subs		0		1				
3. Homebuilder's Management Staff are Certified Green Building Professionals		0		1				
4. Develop Homeowner Manual of Green Features/Benefits and Conduct Walkthroughs		0		1	1	1		
5. Install a Home System Monitor OR Participate in a Time-of-Use Pricing Program		0		1				
Total Points Achieved Other = 6		0						
O. COMMUNITY DESIGN & PLANNING		Points Achieve	Community	Energy	IAQ/Health	Resources	Water	Notes
1. Develop Infill Sites		0		1		1		
2. Build on Designated Brownfield Site		0		2		3		
3. Cluster Homes & Keep Size in Check		0		1		1		
4. Design for Walking & Bicycling		0		2		2		
Total Points Achieved Community Design & Planning = 13		0						

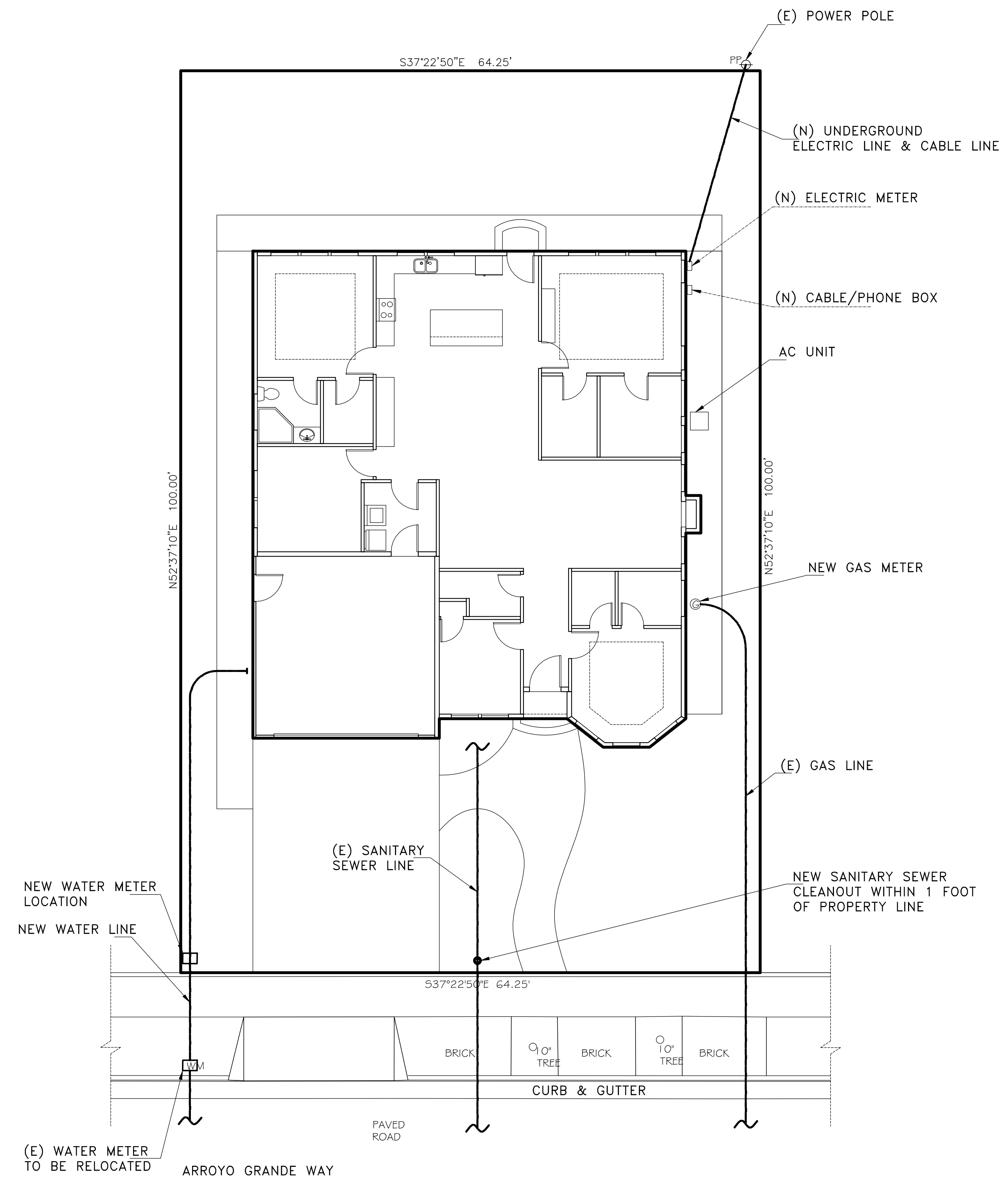
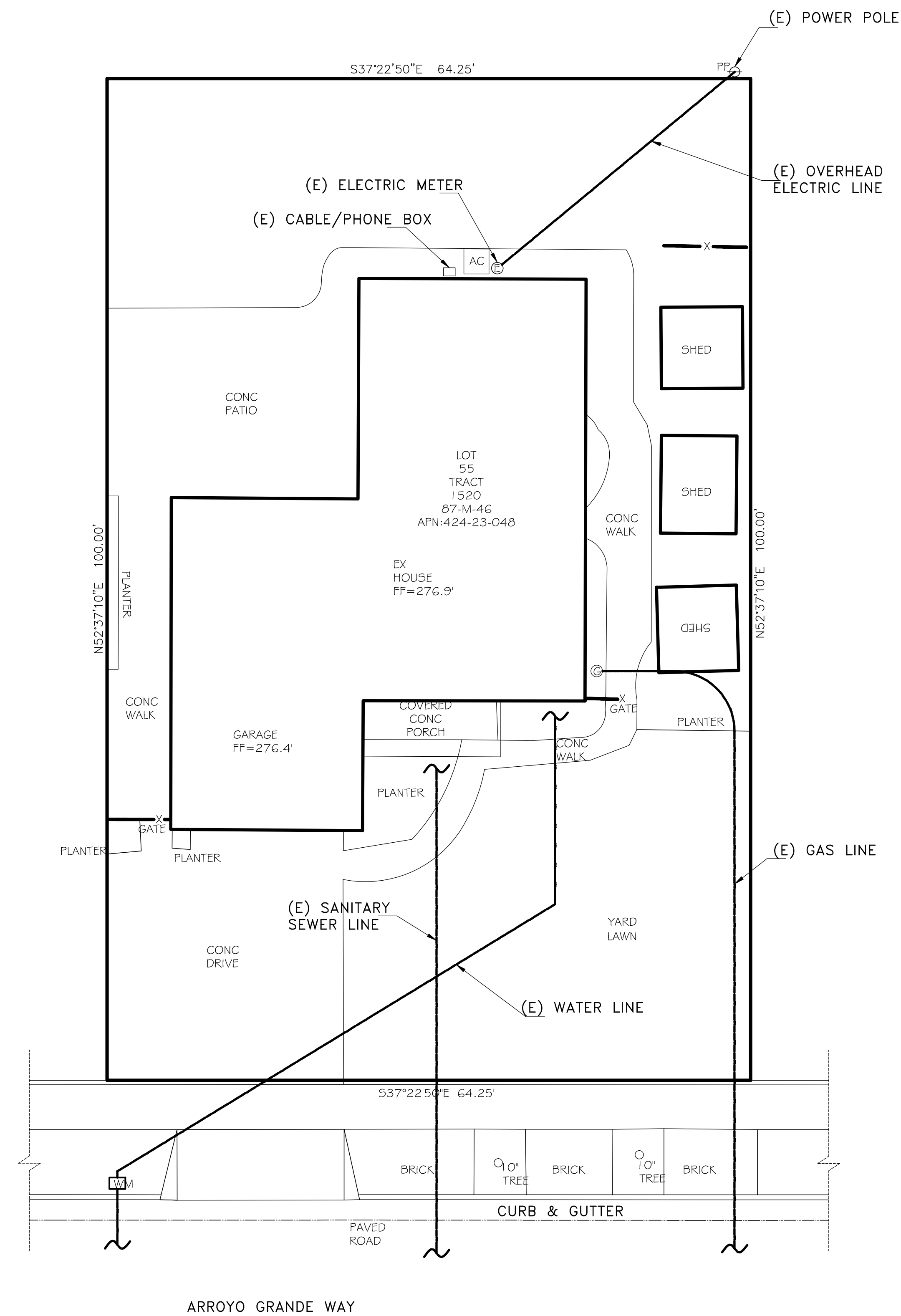
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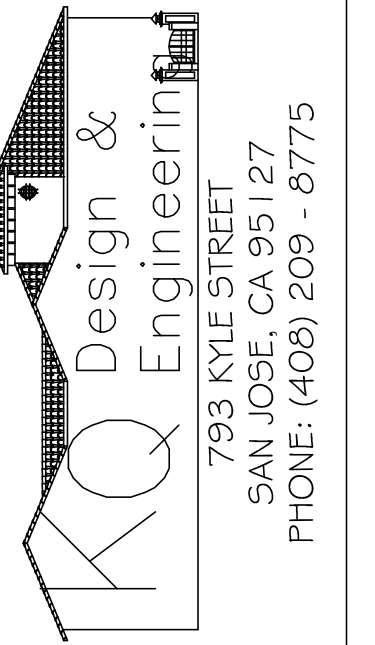
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Enter Project Name

G. Plumbing		Points Achieved	Community	Energy	IAQ/Health	Resources	Water	Notes
TBD	1. Grease Interceptor (If Under-Cabinet Water Main is Present)	0					1	
TBD	2. Grease Interceptor (If Under-Cabinet Water Main is Present)	0					2	
TBD	3. Hot Water Heater Test (If Under-Cabinet Water Main is Present)	0					1	
TBD	4. Cold Water Heater Test (If Under-Cabinet Water Main is Present)	0					2	
TBD	5. Hot Water Heater Test (If Under-Cabinet Water Main is Present)	0					1	
TBD	6. Hot Water Heater Test (If Under-Cabinet Water Main is Present)	0					2	
H. Heating, Ventilation, and Air Conditioning								
TBD	1. Heating, Ventilation, and Air Conditioning (If Under-Cabinet Water Main is Present)	0					1	
TBD	2. Heating, Ventilation, and Air Conditioning (If Under-Cabinet Water Main is Present)	0					1	
TBD	3. Heating, Ventilation, and Air Conditioning (If Under-Cabinet Water Main is Present)	0					1	
K. Finishes								
TBD	1. Material: Meet SMART Criteria (Select the number of points, up to 5 points)	0					5	
N. Other								
TBD	1. Dead End Drainage (If Under-Cabinet Water Main is Present)	0					2	
TBD	2. Dead End Drainage (If Under-Cabinet Water Main is Present)	0					1	
TBD	3. Dead End Drainage (If Under-Cabinet Water Main is Present)	0					1	
TBD	4. Dead End Drainage (If Under-Cabinet Water Main is Present)	0					1	
TBD	5. Dead End Drainage (If Under-Cabinet Water Main is Present)	0					1	
TBD	6. Dead End Drainage (If Under-Cabinet Water Main is Present)	0					1	
TBD	7. Dead End Drainage (If Under-Cabinet Water Main is Present)	0					1	
TBD	8. Dead End Drainage (If Under-Cabinet Water Main is Present)	0					1	
TBD	9. Dead End Drainage (If Under-Cabinet Water Main is Present)	0					1	
TBD	10. Dead End Drainage (If Under-Cabinet Water Main is Present)	0					1	
TBD	11. Dead End Drainage (If Under-Cabinet Water Main is Present)	0					1	
TBD	12. Dead End Drainage (If Under-Cabinet Water Main is Present)	0					1	
TBD	13. Dead End Drainage (If Under-Cabinet Water Main is Present)	0					1	
TBD	14. Dead End Drainage (If Under-Cabinet Water Main is Present)	0					1	
TBD	15. Dead End Drainage (If Under-Cabinet Water Main is Present)	0					1	
TBD	16. Dead End Drainage (If Under-Cabinet Water Main is Present)	0					1	
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TBD	96. Dead End Drainage (If Under-Cabinet Water Main is Present)	0					1	
TBD	97. Dead End Drainage (If Under-Cabinet Water Main is Present)	0					1	
TBD	98. Dead End Drainage (If Under-Cabinet Water Main is Present)	0					1	
TBD	99. Dead End Drainage (If Under-Cabinet Water Main is Present)	0					1	
TBD	100. Dead End Drainage (If Under-Cabinet Water Main is Present)	0					1	
Summary		Total Points Achieved						
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		50	0	30	5	6	9	
		0	0	0	0	0	0	

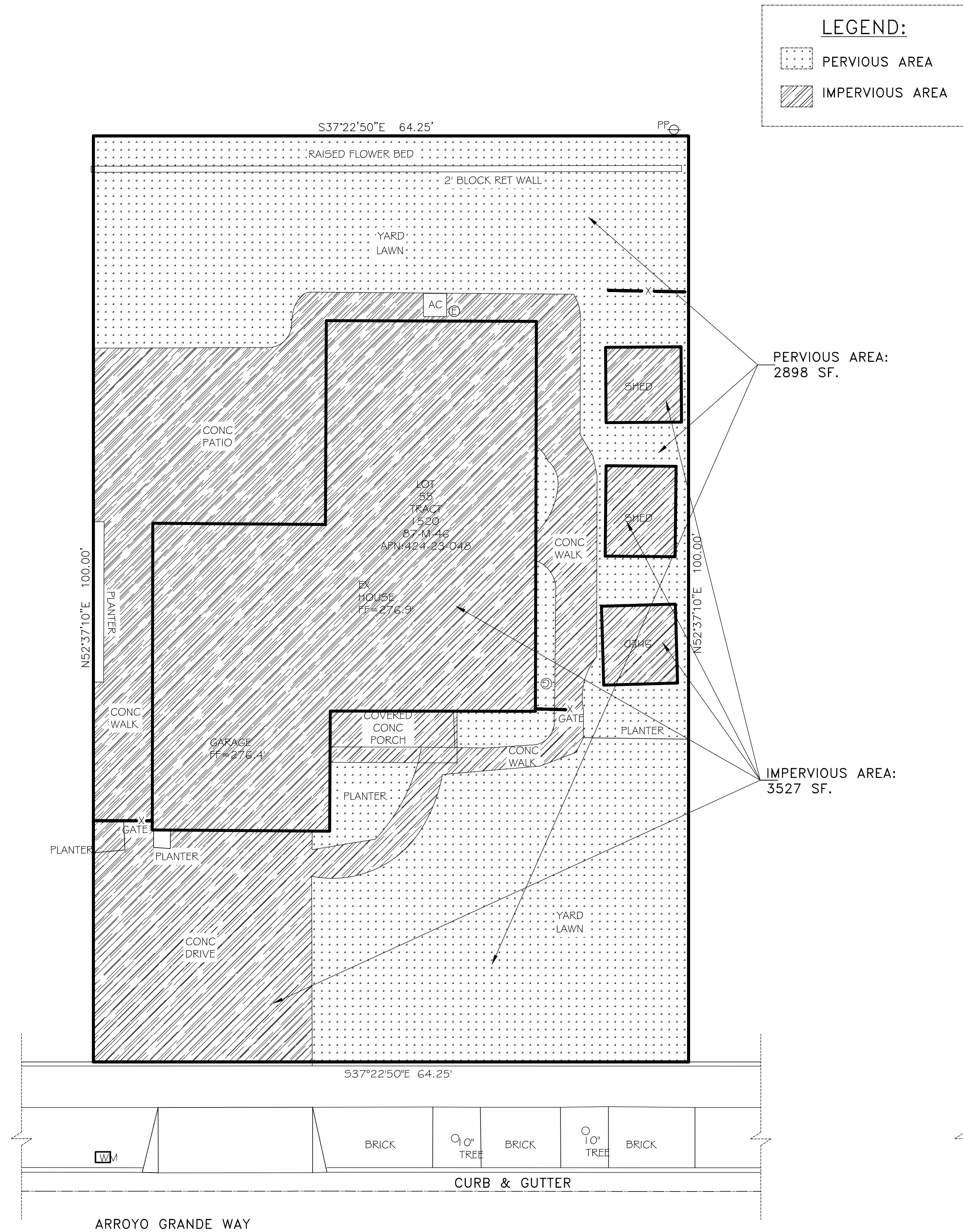


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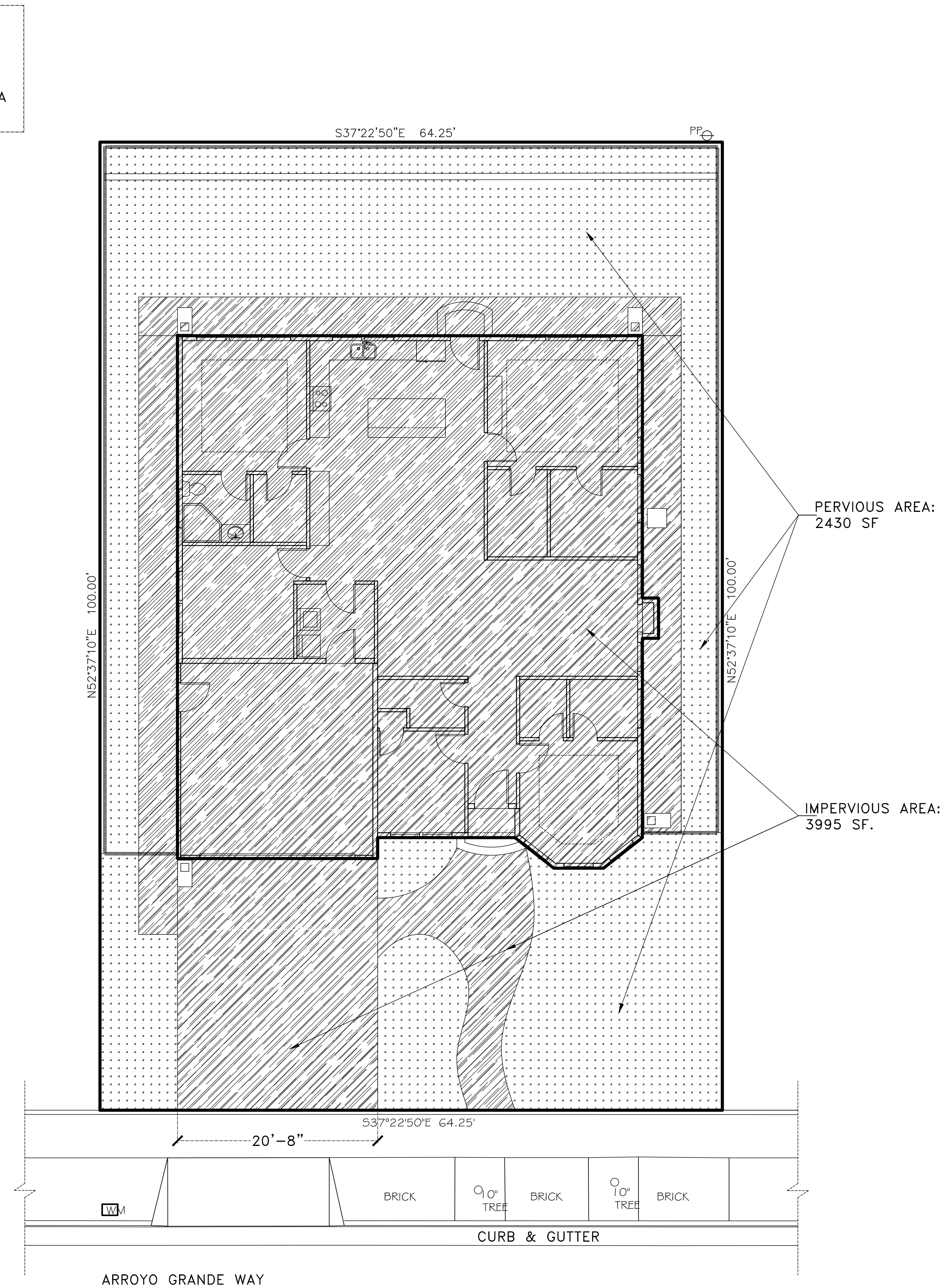


New home for:
YOGESH JHAMB
140 Arroyo Grande Way
Los Gatos, CA 95032
UTILITY PLAN

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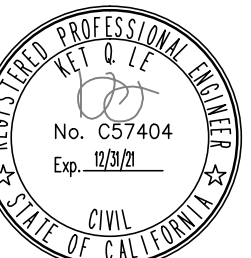
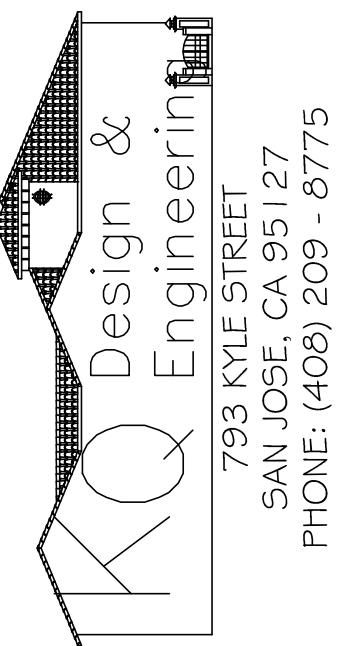


(E) GROUND COVER PLAN
 1/8" = 1'-0"



(N) GROUND COVER PLAN
 1/8" = 1'-0"

REVISIONS	BY



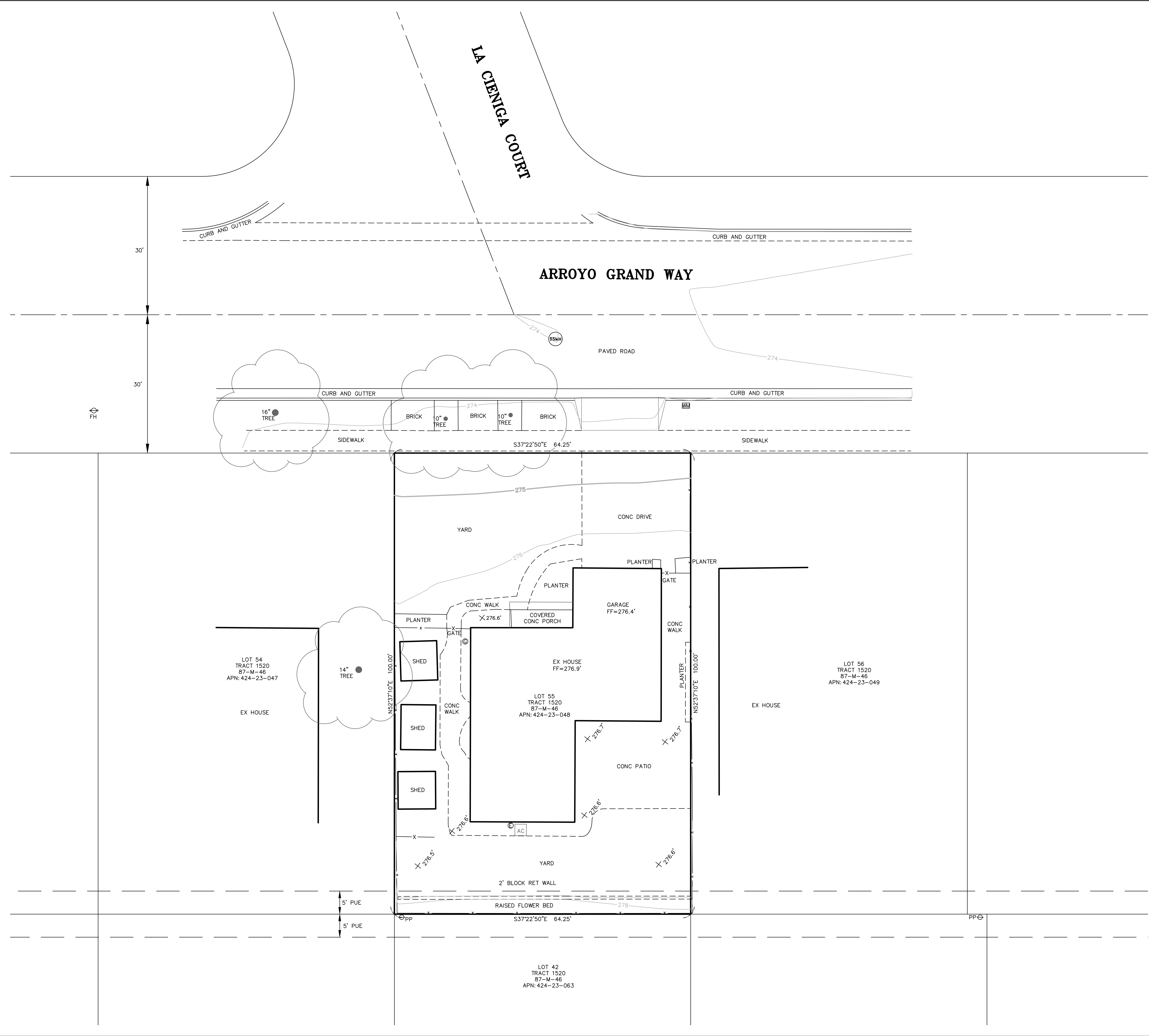
793 Kyle Street
 San Jose, CA. 95127
 Tel.: 408-209-8775
 Email: kettle1@yahoo.com

New home for:
YOGESH JHAMB
 140 Arroyo Grande Way
 Los Gatos, CA 95032
GROUND COVER PLAN

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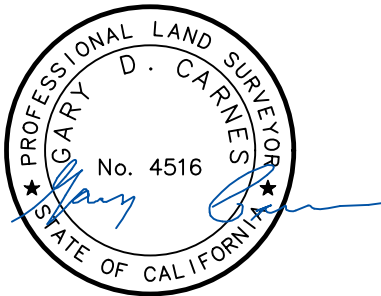
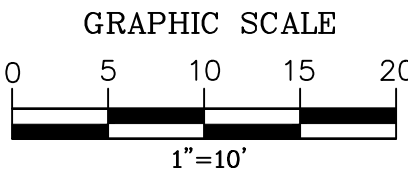
LEGEND	
	PROPERTY BOUNDARY
	LOT LINE
	CENTER LINE
	EASEMENT LINE
	PAVEMENT
	CONCRETE/LIP OF GUTTER
	FENCE
	FLOW LINE
	TIELINE

ABBREVIATIONS

AC	AIR CONDITIONER UNIT
CH	CHIMNEY
CP	COVERED PORCH
DI	DRAIN INLET
DL	DRIP LINE
DW	DRY WELL
E	ELECTRICAL METER
FF	FINISH FLOOR
FH	FIRE HYDRANT
G	GAS METER
ICV	IRRIGATION CONTROL VALVE
PP	POWER POLE
R.O.W.	RIGHT OF WAY
SSCO	SANITARY SEWER CLEAN OUT
SDMH	STORM DRAIN MANHOLE
SSMH	SANITARY SEWER MANHOLE
TP	TELEPHONE POLE
WM	WATER METER
WV	WATER VALVE
PUE	PUBLIC UTILITY EASEMENT

NOTES

- (1) A CURRENT TITLE REPORT FOR THE SUBJECT PROPERTY HAS NOT BEEN EXAMINED BY GARY D. CARNES, LAND SURVEYOR, EASEMENTS OF RECORD MAY EXIST THAT ARE NOT SHOWN ON THIS MAP.
- (2) TREE SPECIES AND DRIP LINES ARE APPROXIMATE AND SHOULD BE VERIFIED BY A CERTIFIED ARBORIST.
- (3) ALL DISTANCES & DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
- (4) THE UNDERGROUND UTILITIES SHOWN ON THIS MAP, IF SHOWN, ARE APPROXIMATE AND BASED ON EVIDENCE AT THE SURFACE.
- (5) BUILDING DIMENSIONS SHOWN ON THIS MAP, IF SHOWN, ARE MEASURED FROM THE TRIM, STUCCO OR SIDING AT RIGHT ANGLES TO THE PROPERTY LINES.



CARNES & ASSOCIATES
9505 SUGAR BABE DRIVE
GILROY, CALIFORNIA 95020
408-847-2013

**TOPOGRAPHIC MAP
FOR YOGESH JHAMB
140 ARROYO GRANDE WAY
TOWN OF LOS GATOS, CALIF.**

SHEET	DATE :	11-06-19
	SCALE :	1"=10'
1 OF 1	DRAWN BY :	T.W.
	PROJ. MANAGER :	D.E.
Job No. 19107 DWG: JHAMB TP		

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